

Schedule B - Site Plan - PD-07-2025

# 7793 YOUNG STREET

GRASSIE, ONTARIO



KEY PLAN - 7793 YOUNG STREET  
SCALE: NOT TO SCALE

OWNER/COMPANY INFORMATION:

AGRI-PLASTICS MANUFACTURING, HEAD OFFICE  
DARREN VANBUUREN, PRESIDENT & CEO  
7793 YOUNG STREET, GRASSIE, ONTARIO, L0R 1M0  
905-945-3116  
DARREN@AGRI-PLASTICS.NET

ENGINEER INFORMATION:

DAVID SEBERRAS P.ENG.  
SEBERRAS ENGINEERING GROUP  
A DIVISION OF SEBERRAS PROFESSIONAL SERVICES  
P.O. BOX 673  
ST. GEORGE, ONTARIO  
N0E 1N0  
CELL: 905-520-6802  
EMAIL: DSEBERRAS@HOTMAIL.COM

DRAWING INDEX:

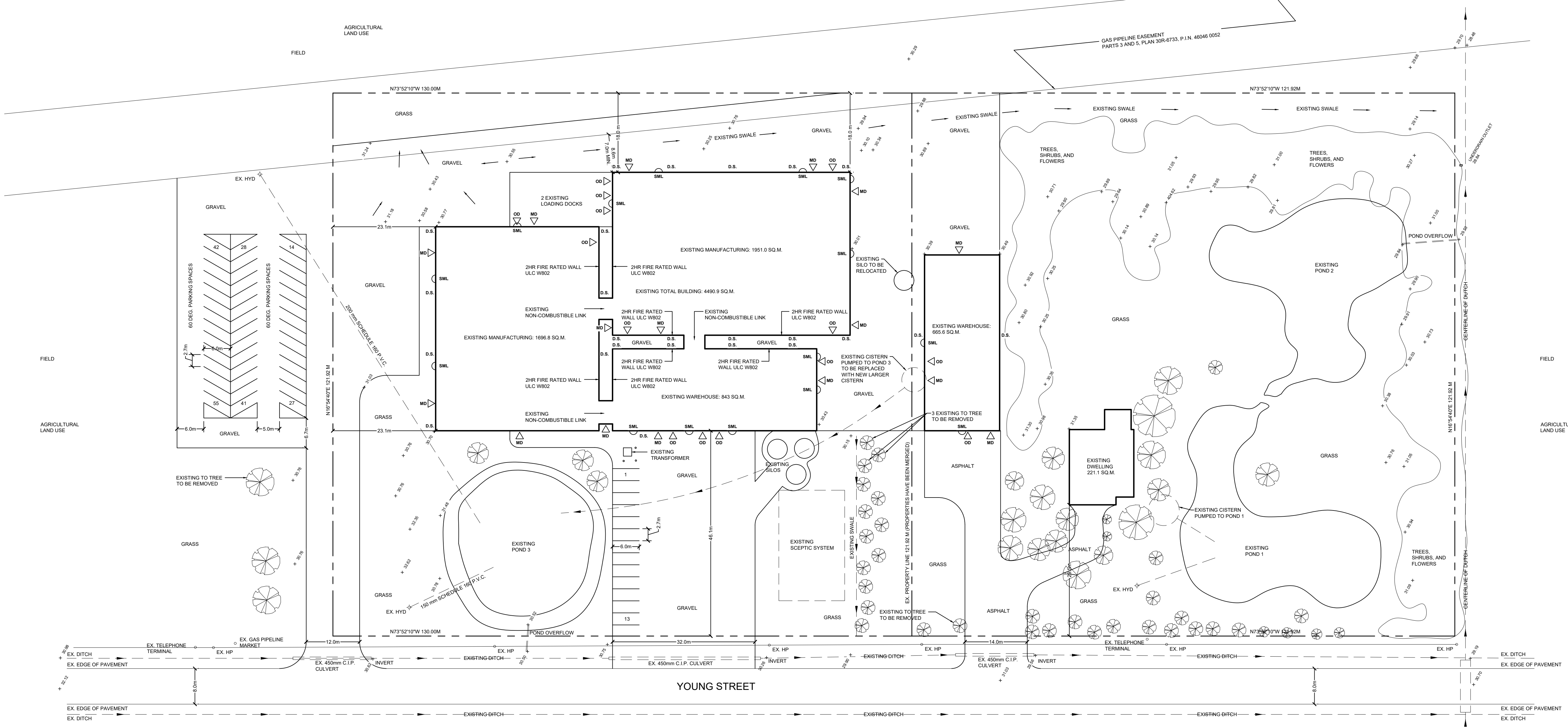
SP-1	EXISTING SITE PLAN EXISTING SERVICE PLAN EXISTING GRADING AND DRAINAGE PLAN EXISTING LANDSCAPING PLAN
SP-2	PROPOSED EROSION AND SEDIMENT CONTROL PLAN
SP-3	PROPOSED SITE PLAN PROPOSED SERVICE PLAN PROPOSED GRADING AND DRAINAGE
SP-4	PROPOSED SITE PLAN PROPOSED LANDSCAPING PLAN
SP-5	DETAILS
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SP-7	PROPOSED STORAGE BUILDING ELEVATIONS

7793 YOUNG STREET, GRASSIE, ONTARIO  
ISSUED FOR BOUNDARY ADJUSTMENT 26-JAN-24  
ISSUED FOR SITE PLAN CONTROL APPROVAL 28-OCT-24  
ISSUED FOR ZONE BY-LAY AMENDMENT 28-OCT-24



**KEY PLAN - 7793 YOUNG STREET**  
SCALE: NOT TO SCALE

- LEGEND:**
- DENOTES FOUND SURVEY MONUMENT
  - DENOTES PLANTED SURVEY MONUMENT
  - SB DENOTES STANDARD IRON BAR
  - IB DENOTES IRON BAR
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  - WM — WATERMAIN
  - SAN — SANITARY LINE
  - OH — OVERHEAD HYDRO
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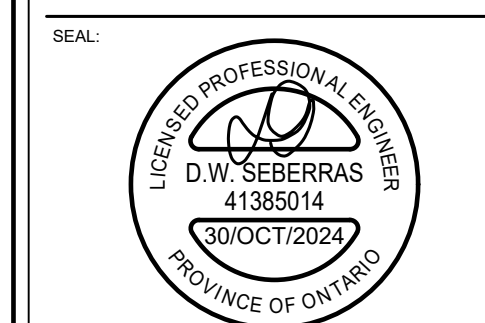
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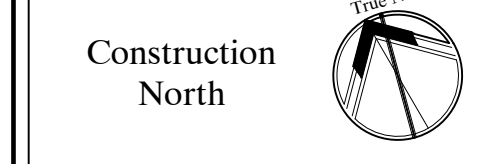
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**SECTION/DETAIL NUMBER**  
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No.	Revision	Date
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3	ISSUED FOR SITE PLAN CONTROL APPROVAL AND ZONING BY-LAW AMENDMENT	30/OCT/24



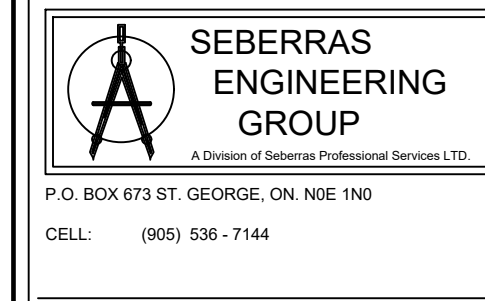
CHECKED BY: D.S. FIRM NO: 30361  
DRAWN BY: B.B.



**Construction North**

PROJECT LOCATION:  
7793 YOUNG STREET  
GRASSIE, ONTARIO  
TOWNSHIP OF WEST LINCOLN

PROJECT DESCRIPTION:  
PROPOSED WAREHOUSE  
STORAGE ADDITION



DRAWING TITLE:  
EXISTING SITE PLAN  
EXISTING SERVICES PLAN  
EXISTING GRADING AND DRAINAGE  
EXISTING LANDSCAPING PLAN

PROJECT NO: 2023-210  
SCALE: 1:500  
DRAWING NO: SP-1

SITE STATISTICS REQUIRED:		SITE STATISTICS EXISTING:		SITE STATISTICS PROPOSED:		LEGAL DESCRIPTION:
ZONING (2017.70) AGRICULTURAL RELATED (AR-S1)	MAXIMUM BUILDING HEIGHT: 15 m	SITE AREAS:	LOT COVERAGE:	LOT FRONTAGE:	251.92 m	SITE PLAN OF PART OF LOT 14, GORE A, TOWNSHIP OF SOUTH GRIMSBY, PART 1 AND 2, PLAN 30R-2653, P.I.N. 46046 0053
MINIMUM REQUIREMENTS:	MINIMUM LANDSCAPE AREA: n/a	PROPERTY AREA: 30,711 m <sup>2</sup>	EXISTING BUILDING AREA: 5,156.4 m <sup>2</sup>	PROPOSED BUILDING AREA: 6776.79 m <sup>2</sup>	222.1 m	
MINIMUM LOT AREA: 1.5 ha (15,000 sq.m.)	MINIMUM DISTANCE FROM CENTERLINE OF A PROVINCIAL ROAD: n/a	EXISTING DWELLING: 222.1 m <sup>2</sup>	TOTAL BUILDING AREA: 5,378.5 m <sup>2</sup>	EXISTING DWELLING: 222.1 m <sup>2</sup>	182.0 m	
MINIMUM LOT FRONTAGE: 130 m	7 m MINIMUM SET BACK FROM PIPELINE EASEMENT	TOTAL POND AREA: 2,811 m <sup>2</sup>	TOTAL GRASS/LANDSCAPE AREA: 13,835 m <sup>2</sup>	TOTAL POND AREA: 2,811 m <sup>2</sup>	121.92 m	TOWNSHIP OF WEST LINCOLN
LOT DEPTH: n/a	MINIMUM NUMBER PARKING SPACES: n/a	TOTAL GRAVEL AREA: 7,829.3 m <sup>2</sup>	TOTAL CONCRETE/ASPHALT AREA: 1,057.2 m <sup>2</sup>	TOTAL GRASS/LANDSCAPE AREA: 15,713.4 m <sup>2</sup>		REGIONAL MUNICIPALITY OF NIAGARA
MAXIMUM LOT COVERAGE: 30%	1 SPACE PER 100 m <sup>2</sup>	TOTAL CONCRETE/ASPHALT AREA: 1,057.2 m <sup>2</sup>		TOTAL GRAVEL AREA: 8,509.21 m <sup>2</sup>		
MINIMUM YARD REQUIREMENTS	55 PARKING SPACES ON EXISTING 73 PARKING SPACES ON PROPOSED PLUS 3 BARRIER FREE PARKING SPACES	EXISTING PARKING:		PROPOSED PARKING:		
FRONT YARD: 6.0 m SETBACK		PARKING SPACES: 55		PARKING SPACES: 73		
INTERIOR SIDE YARD: 3.0 m SETBACK		ACCESSIBLE PARKING: 0		ACCESSIBLE PARKING: 3 (1 TYPE A, 2 TYPE B)		
EXTERIOR SIDE YARD: 6.0 m SETBACK		BICYCLE PARKING: 0		BICYCLE PARKING: 0		
REAR YARD: 18.0 m SETBACK						



KEY PLAN - 7793 YOUNG STREET  
SCALE: NOT TO SCALE

**SEDIMENT AND EROSION CONTROL NOTES**

1. SITE WORKS ARE TO BE STAGED IN SUCH A MANNER THAT EROSION WILL BE MINIMIZED AND THAT BARRIERS AND SEDIMENTATION FACILITIES WITHIN THE SITE ARE PROVIDED TO CONTROL ANY EROSION THAT DOES OCCUR.
2. PRIOR TO ISSUANCE OF A BUILDING PERMIT, A SEDIMENT POND OR STORAGE AREA MUST BE ESTABLISHED TO COLLECT SURFACE DRAINAGE FROM ALL AREAS THAT WILL BE DISTURBED. WATER PUMPED FROM EXCAVATIONS OR DEWATERING OPERATIONS MUST BE DIRECTED TO SEDIMENT POND.
3. ALL SILT FENCING TO BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY GRADING EXCAVATION OR DEMOLITION.
4. CLEARING AND GRUBBING OF THE SITE SHOULD BE KEPT TO A MINIMUM AND VEGETATION REMOVED ONLY IN ADVANCE OF IMMEDIATE CONSTRUCTION.
5. STOCKPILES OR EARTH OR TOPSOIL ARE TO BE LOCATED AND PROTECTED TO MINIMIZE ENVIRONMENTAL INTERFERENCE. STOCKPILES SHOULD NOT BE LOCATED IMMEDIATELY ADJACENT TO DITCHES OR ROAD ALLOWANCES. EROSION CONTROL FENCING IS TO BE INSTALLED AROUND THE BASE OF ALL STOCKPILES. A PERIMETER DITCH LEADING TO A SETTLING AREA OR SEDIMENTATION TRAP SHOULD BE INSTALLED AROUND THE STOCKPILE.
6. EROSION PROTECTION TO BE PROVIDED AROUND ALL STORM AND SANITARY MANHOLES, CATCH BASINS, DITCHES, SWALES AND WATERCOURSES.
7. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS SITE DEVELOPMENT PROGRESSES. THE CONTRACTOR IS TO PROVIDE ALL ADDITIONAL EROSION CONTROL STRUCTURES.
8. THE CONTRACTOR IS TO MONITOR EROSION CONTROL STRUCTURES TO ENSURE FENCING IS INSTALLED AND MAINTENANCE IS PERFORMED TO TOWNSHIP REQUIREMENTS.
9. EROSION CONTROL STRUCTURES ARE TO BE MONITORED REGULARLY AND ANY DAMAGE TO STRUCTURES REPAIRED IMMEDIATELY. SEDIMENT IS TO BE REMOVED WHEN ACCUMULATIONS REACH A MAXIMUM OF 1/2 THE HEIGHT OF THE FENCE. CRUSHED STONES, STRAW BALES OR FILTER CLOTH MUST BE REPLACED AS REQUIRED.
10. ALL EROSION CONTROL STRUCTURES ARE TO REMAIN IN PLACE UNTIL ALL DISTURBED GROUND SURFACES HAVE BEEN STABILIZED EITHER BY PAVING OR RESTORATION OF VEGETATIVE GROUND COVER.
11. NO ALTERNATIVE METHODS OF EROSION PROTECTION SHALL BE PERMITTED UNLESS APPROVED BY THE DESIGN CONSULTANT AND THE TOWNSHIP.
12. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MUNICIPAL ROADWAYS AND SIDEWALKS ARE CLEARED OF ALL SEDIMENT FROM VEHICULAR TRACKING ETC. TO AND FROM THE SITE AT THE END OF EACH WORK DAY.
13. ALL DISTURBED AREAS NOT INCLUDED IN CONSTRUCTION TO BE RE-TOPSOILED AND RE-SEEDED IMMEDIATELY AFTER COMPLETION OF AREA GRADING.
14. SILT FENCE AS SPECIFIED SHALL BE INSTALLED AROUND THE PERIMETER OF THE SITE OR AS DIRECTED BY THE ENGINEER.

**LEGEND:**

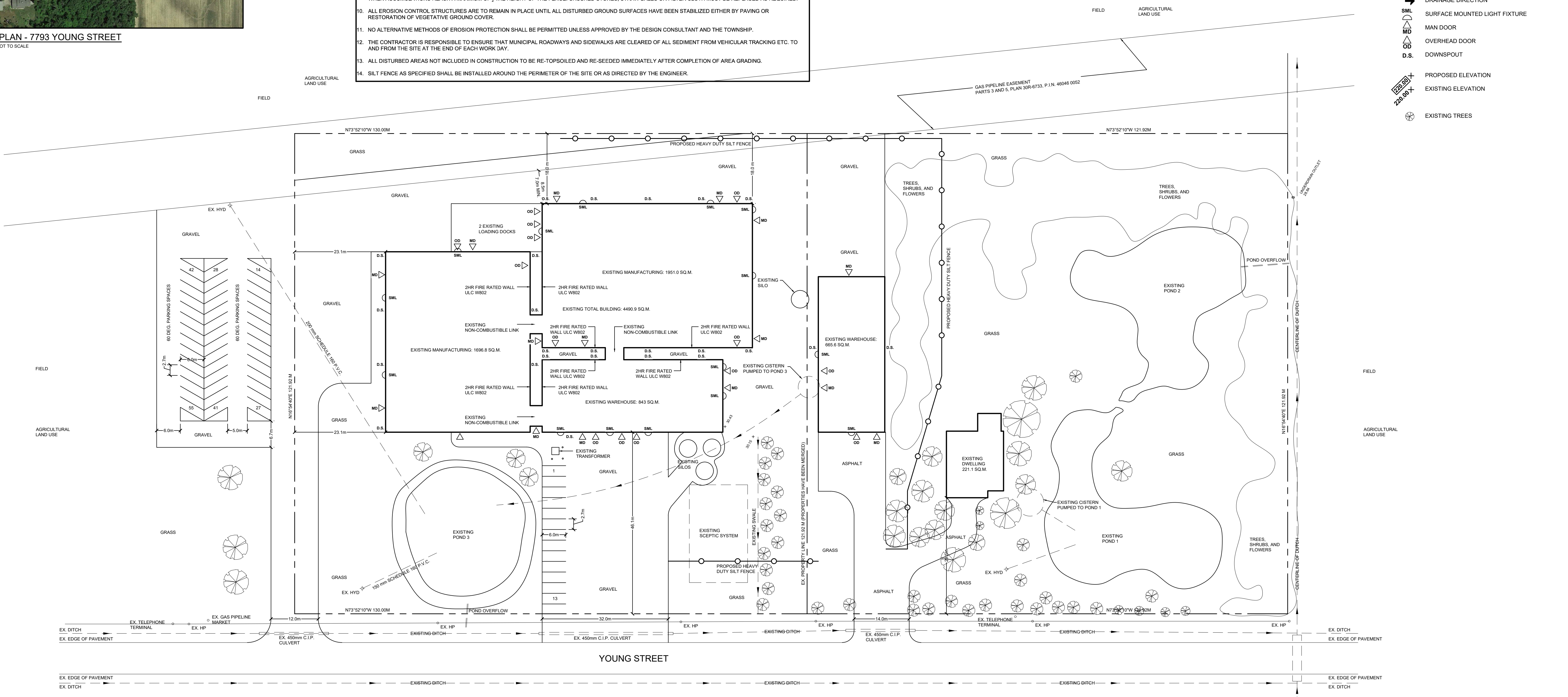
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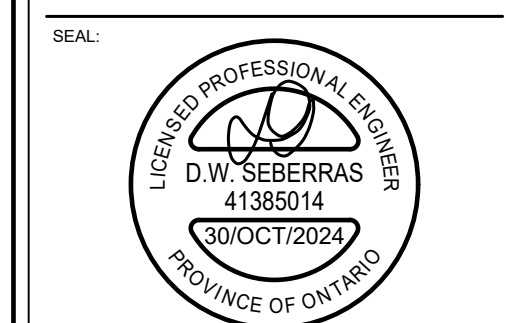
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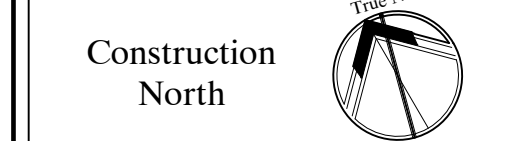
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SITE STATISTICS REQUIRED:		SITE STATISTICS EXISTING:		SITE STATISTICS PROPOSED:		LEGAL DESCRIPTION:	
ZONING (2017.70) AGRICULTURAL RELATED (AR-51)	MAXIMUM BUILDING HEIGHT:	15 m	LOT COVERAGE:	LOT FRONTAGE:	291.92 m	SITE PLAN OF PART OF LOT 14, GORE A, TOWNSHIP OF SOUTH GRIMSBY PART 1 AND 2, PLAN 30R-2653, P.I.N. 46046 0053	
MINIMUM REQUIREMENTS:	MINIMUM LANDSCAPE AREA:	n/a	PROPERTY AREA:	FRONT YARD SETBACK:	46.1 m	TOWNSHIP OF WEST LINCOLN REGIONAL MUNICIPALITY OF NIAGARA	
MINIMUM LOT AREA:	MINIMUM DISTANCE FROM CENTERLINE OF A PROVINCIAL ROAD:	n/a	EXISTING BUILDING AREA:	INTERIOR SIDE YARD SETBACK (WEST):	23.1 m	P.O. BOX 673 ST. GEORGE, ON N0E 1N0	
MINIMUM LOT FRONTAGE:	7 m MINIMUM SET BACK FROM PIPELINE EASEMENT	n/a	EXISTING DWELLING:	EXTERIOR SIDE YARD SETBACK (EAST):	102 m	CELL: (905) 536-7144	
LOT DEPTH:	MINIMUM NUMBER PARKING SPACES:	n/a	TOTAL BUILDING AREA:	REAR YARD SETBACK:	18.0 m	DRAWING TITLE:	
MAXIMUM LOT COVERAGE:	1 SPACE PER 100 m <sup>2</sup>		TOTAL POND AREA:			EXISTING SITE PLAN	
	55 PARKING SPACES ON EXISTING		TOTAL GRASSLANDSCAPE AREA:			SEDIMENT AND EROSION	
FRONT YARD:	73 PARKING SPACES ON PROPOSED PLUS 3 BARRIER FREE PARKING SPACES		TOTAL GRAVEL AREA:			CONTROL PLAN	
INTERIOR SIDE YARD:			TOTAL CONCRETE/ASPHALT AREA:			DRAWING NO.:	
EXTERIOR SIDE YARD:						2023-210	
REAR YARD:						SCALE:	
						1:500	
						DRAWING NO.:	
						SP-2	



CHECKED BY: D.S. FIRM NO: 30361  
DRAWN BY: B.B.



PROJECT LOCATION:  
7793 YOUNG STREET  
GRASSIE, ONTARIO  
TOWNSHIP OF WEST LINCOLN

PROJECT DESCRIPTION:  
PROPOSED WAREHOUSE  
STORAGE ADDITION

SEBERRAS ENGINEERING GROUP  
A Division of Seberas Professional Services Ltd.

PROJECT NO: 2023-210  
SCALE: 1:500  
DRAWING NO: SP-2



**KEY PLAN - 7793 YOUNG STREET**  
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  - - - - - PROPERTY LINE
  - X-X EXISTING FENCE
  - X-X-X PROPOSED BUFFER SCREEN / FENCE
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  - GAS — GAS LINE
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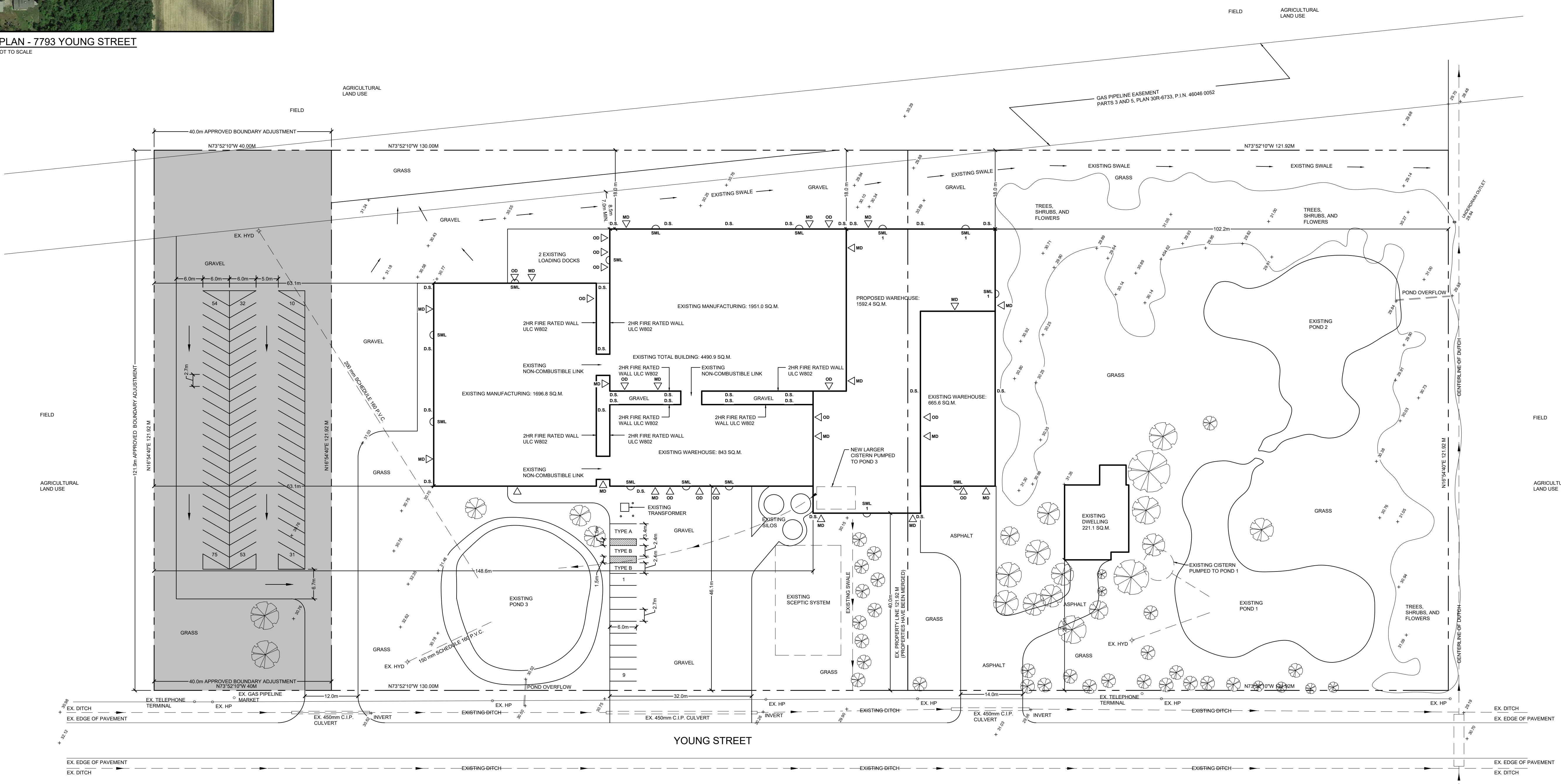
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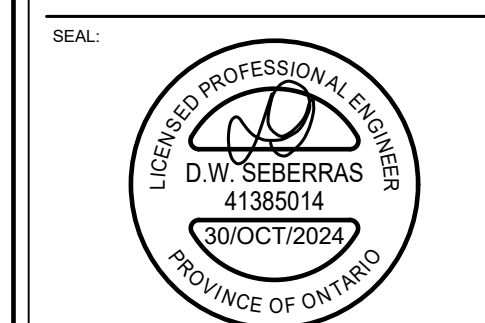
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**SURFACE MOUNTED LIGHT FIXTURE 1 SPEC.**  
DESCRIPTION - LNC2-12L-SK-070-3  
LUM WATTS - 28.6  
LUM LUMENS - 2629  
LLF - 0.900  
ARRANGEMENT - SINGLE  
FILE NAME - LNC2-12L-SK-070-3.IES



CHECKED BY: D.S. FIRM NO: 30361  
DRAWN BY: B.B.



**PROJECT LOCATION:**  
7793 YOUNG STREET  
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TOWNSHIP OF WEST LINCOLN

**PROJECT DESCRIPTION:**  
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STORAGE ADDITION

**SEBERRAS ENGINEERING GROUP**  
A Division of Seberas Professional Services Ltd.  
P.O. BOX 673 ST. GEORGE, ON N0E 1N0  
CELL: (905) 536-7144

DRAWING TITLE:  
PROPOSED SITE PLAN  
PROPOSED SERVICES PLAN  
PROPOSED GRADING AND DRAINAGE

PROJECT NO: 2023-210  
SCALE: 1:500  
DRAWING NO: SP-3

SITE STATISTICS REQUIRED:		SITE STATISTICS EXISTING:		SITE STATISTICS PROPOSED:	
ZONING (2017.70) AGRICULTURAL RELATED (AR-51)	MAXIMUM BUILDING HEIGHT: 15 m	SITE AREAS:	LOT COVERAGE:	LOT FRONTAGE:	251.92 m
MINIMUM REQUIREMENTS:	MINIMUM LANDSCAPE AREA: n/a	PROPERTY AREA: 30,711 m <sup>2</sup>	EXISTING BUILDING AREA: 5,156.4 m <sup>2</sup>	FRONT YARD SETBACK: 46.1 m	
MINIMUM LOT AREA: 1.5 ha (15,000 sq.m.)	MINIMUM DISTANCE FROM CENTERLINE OF A PROVINCIAL ROAD: n/a	EXISTING DWELLING: 222.1 m <sup>2</sup>	TOTAL BUILDING AREA: 5,378.5 m <sup>2</sup>	INTERIOR SIDE YARD SETBACK (WEST): 23.1 m	
MINIMUM LOT FRONTAGE: 130 m	7 m MINIMUM SET BACK FROM PIPELINE EASEMENT	TOTAL POND AREA: 2,811 m <sup>2</sup>	TOTAL GRASSLANDSCAPE AREA: 13,835 m <sup>2</sup>	EXTERIOR SIDE YARD SETBACK (EAST): 18.0 m	
LOT DEPTH: n/a	MINIMUM NUMBER PARKING SPACES: n/a	TOTAL GRAVEL AREA: 7,629.3 m <sup>2</sup>	TOTAL CONCRETE/ASPHALT AREA: 1,057.2 m <sup>2</sup>	REAR YARD SETBACK: 18.0 m	
MAXIMUM LOT COVERAGE: 30%	1 SPACE PER 100 m <sup>2</sup>	TOTAL GRAVEL AREA: 7,629.3 m <sup>2</sup>	TOTAL CONCRETE/ASPHALT AREA: 1,057.2 m <sup>2</sup>	LOT DEPTH: 121.92 m	
MINIMUM YARD REQUIREMENTS	55 PARKING SPACES ON EXISTING 73 PARKING SPACES ON PROPOSED PLUS 3 BARRIER FREE PARKING SPACES	EXISTING PARKING:	PARKING SPACES: 55	PROPOSED PARKING:	73
FRONT YARD: 6.0 m SETBACK		ACCESSIBLE PARKING:	0	ACCESSIBLE PARKING:	3 (1 TYPE A, 2 TYPE B)
INTERIOR SIDE YARD: 3.0 m SETBACK		BICYCLE PARKING:	0	BICYCLE PARKING:	0
EXTERIOR SIDE YARD: 6.0 m SETBACK					
REAR YARD: 18.0 m SETBACK					



**KEY PLAN - 7793 YOUNG STREET**  
SCALE: NOT TO SCALE

**PROPOSED LANDSCAPING PLAN NOTE:**

- ONLY FINAL GRADING CHANGES TO TAKE PLACE TO TIE INTO EXISTING GRADING

**LEGEND:**

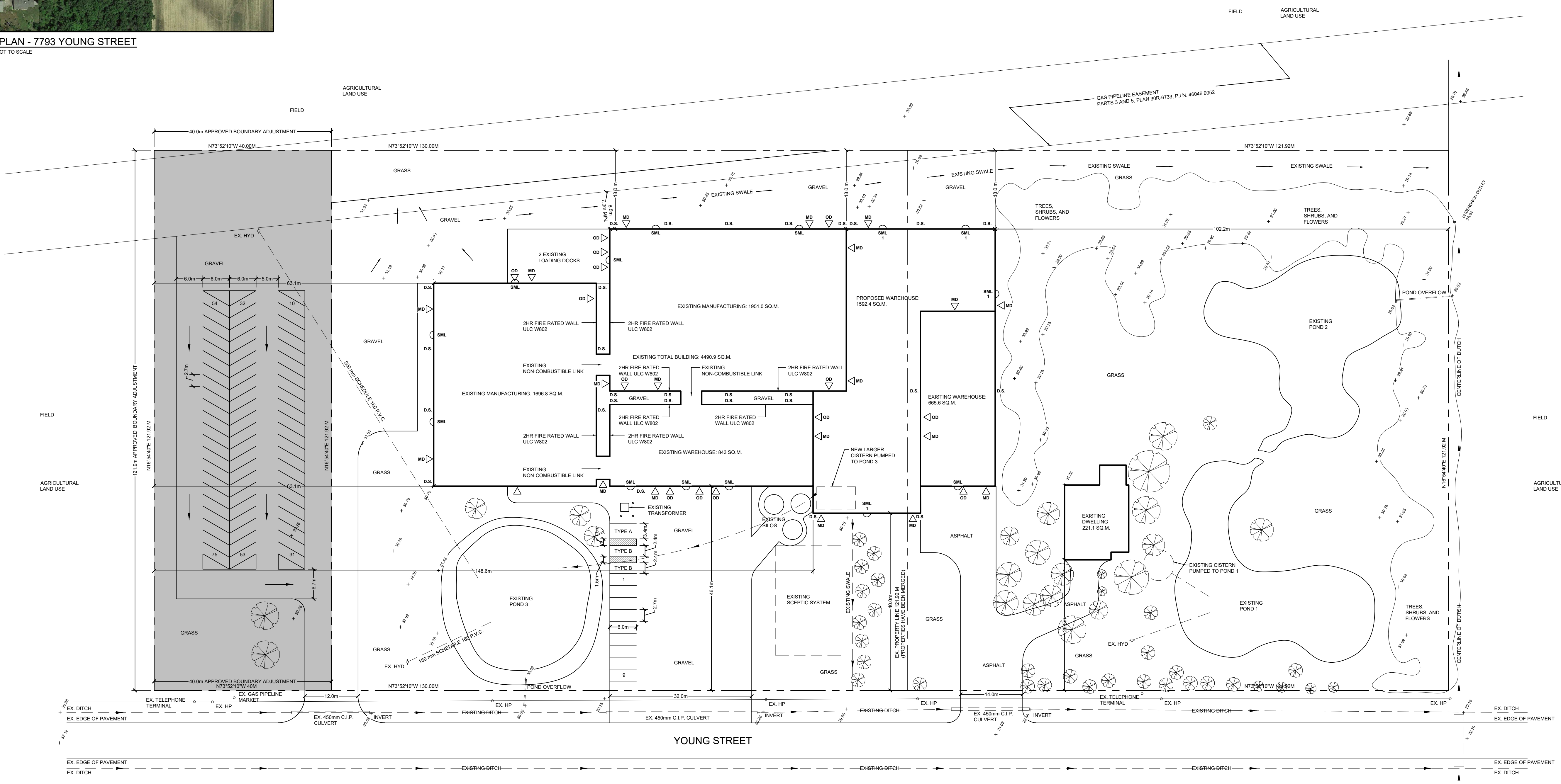
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MINIMUM LOT AREA: 1.5 ha (15,000 sq.m.)	MINIMUM DISTANCE FROM CENTERLINE OF A PROVINCIAL ROAD: n/a	TOTAL BUILDING AREA: 5,378.5 m <sup>2</sup>	TOTAL POND AREA: 2,811 m <sup>2</sup>	TOTAL GRASSLANDSCAPE AREA: 13,835 m <sup>2</sup>	EXISTING DWELLING: 222.1 m <sup>2</sup>	EXISTING DWELLING: 222.1 m <sup>2</sup>
MINIMUM LOT FRONTAGE: 130 m	7 m MINIMUM SET BACK FROM PIPELINE EASEMENT	TOTAL GRAVEL AREA: 7,629.3 m <sup>2</sup>	TOTAL CONCRETE/ASPHALT AREA: 1,057.2 m <sup>2</sup>	TOTAL GRAVEL AREA: 8,509.2 m <sup>2</sup>	TOTAL BUILDING AREA: 6,998.89 m <sup>2</sup>	TOTAL BUILDING AREA: 6,998.89 m <sup>2</sup>
LOT DEPTH: n/a	MINIMUM NUMBER PARKING SPACES: n/a	TOTAL CONCRETE/ASPHALT AREA: 1,057.2 m <sup>2</sup>		TOTAL CONCRETE/ASPHALT AREA: 1,554.5 m <sup>2</sup>	TOTAL POND AREA: 2,811 m <sup>2</sup>	TOTAL POND AREA: 2,811 m <sup>2</sup>
MAXIMUM LOT COVERAGE: 30%	1 SPACE PER 100 m <sup>2</sup>				TOTAL GRASSLANDSCAPE AREA: 15,713.4 m <sup>2</sup>	TOTAL GRASSLANDSCAPE AREA: 15,713.4 m <sup>2</sup>
MINIMUM YARD REQUIREMENTS	55 PARKING SPACES ON EXISTING	EXISTING PARKING:		PROPOSED PARKING:	TOTAL GRAVEL AREA: 8,509.2 m <sup>2</sup>	TOTAL GRAVEL AREA: 8,509.2 m <sup>2</sup>
FRONT YARD: 6.0 m SETBACK	73 PARKING SPACES ON PROPOSED PLUS 3 BARRIER FREE PARKING SPACES	PARKING SPACES: 55		PARKING SPACES: 73	TOTAL CONCRETE/ASPHALT AREA: 1,554.5 m <sup>2</sup>	TOTAL CONCRETE/ASPHALT AREA: 1,554.5 m <sup>2</sup>
INTERIOR SIDE YARD: 3.0 m SETBACK		ACCESSIBLE PARKING: 0		ACCESSIBLE PARKING: 3 (1 TYPE A, 2 TYPE B)		
EXTERIOR SIDE YARD: 6.0 m SETBACK		BICYCLE PARKING: 0		BICYCLE PARKING: 0		
REAR YARD: 18.0 m SETBACK						



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DRAWN BY: B.B.



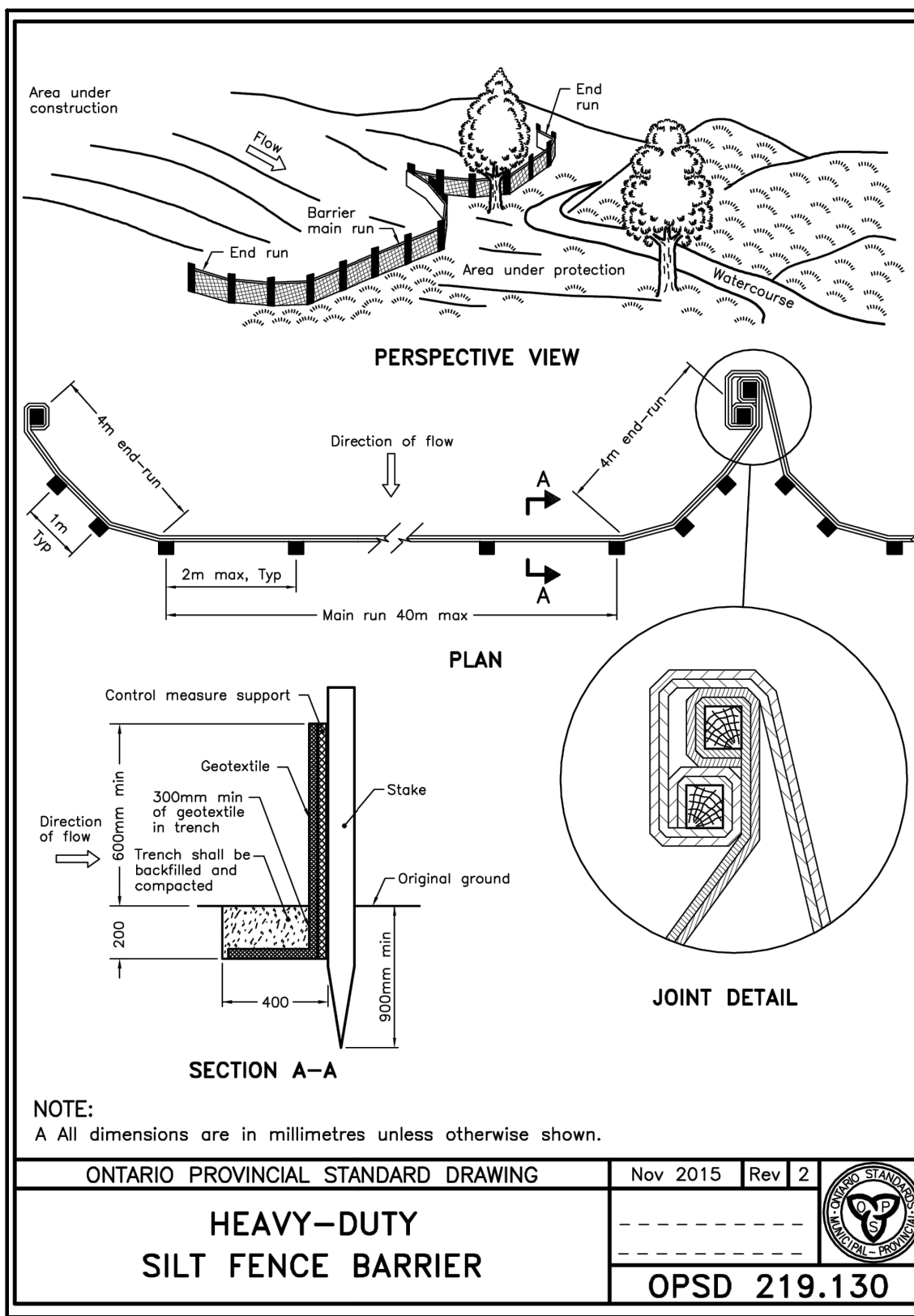
**Construction North**  
PROJECT LOCATION:  
7793 YOUNG STREET  
GRASSIE, ONTARIO  
TOWNSHIP OF WEST LINCOLN

**SEBERRAS ENGINEERING GROUP**  
A Division of Seberras Professional Services Ltd.  
P.O. BOX 673 ST. GEORGE, ON N0E 1N0  
CELL: (905) 536-7144

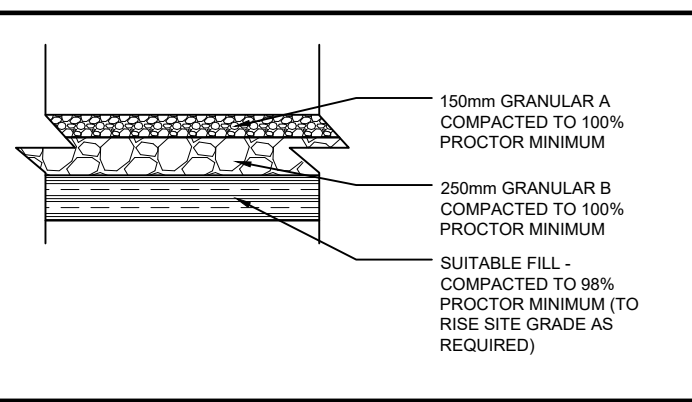
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PROPOSED WAREHOUSE STORAGE ADDITION

DRAWING TITLE:  
PROPOSED SITE PLAN  
PROPOSED LANDSCAPING PLAN

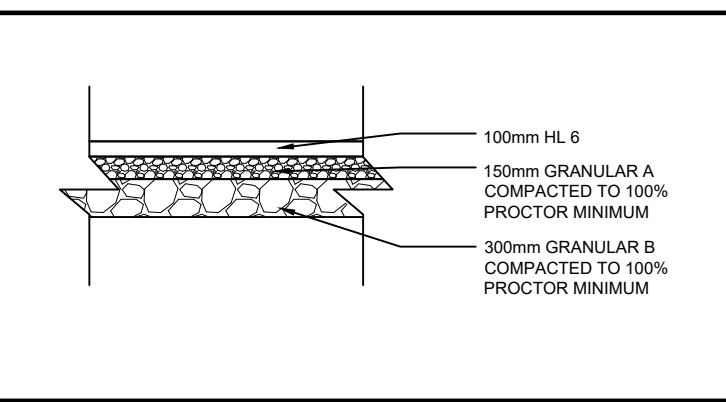
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SCALE: 1:500  
DRAWING NO: SP-4



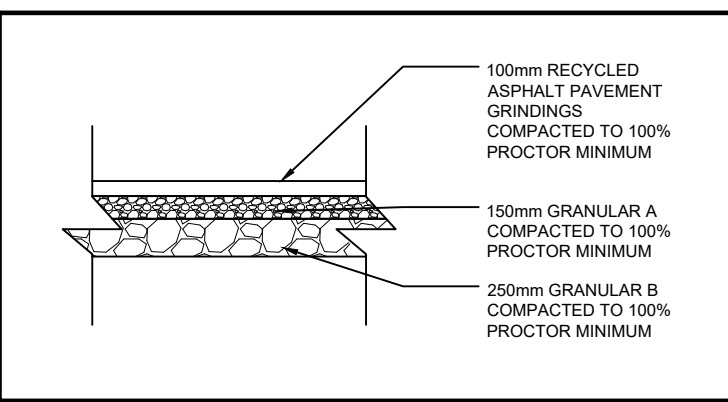
**DETAIL 1: HEAVY DUTY SILT FENCE**  
SCALE: NOT TO SCALE



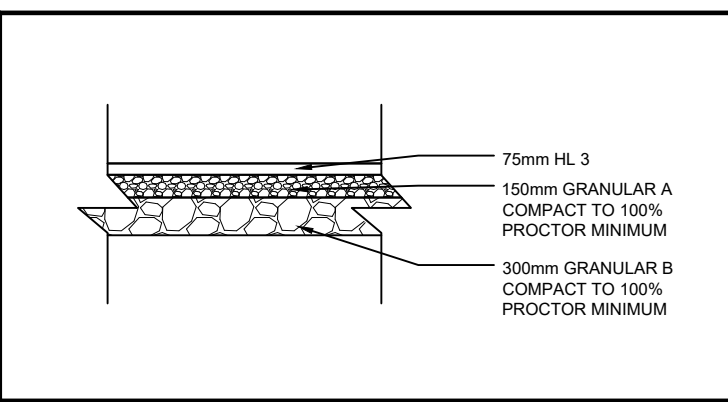
**DETAIL 2: GRAVEL LOT**  
SCALE: NOT TO SCALE



**DETAIL 3: MEDIUM DUTY ASPHALT**  
SCALE: NOT TO SCALE



**DETAIL 4: RECYCLED ASPHALT**  
SCALE: NOT TO SCALE



**DETAIL 5: LIGHT DUTY ASPHALT**  
SCALE: NOT TO SCALE

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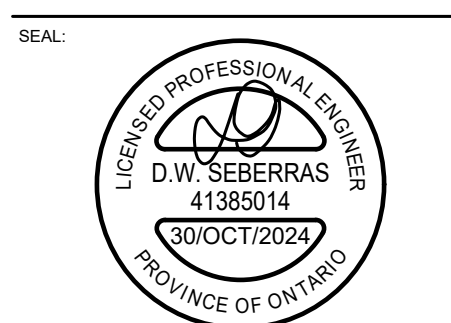
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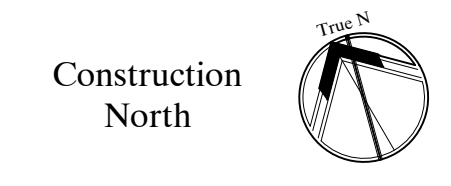
SECTION/DETAIL NUMBER  
DWG No. WHERE DETAILED

No.	Revision	Date
△	ISSUED FOR GENERAL REVIEW	15/JAN/24
△	ISSUED FOR BOUNDARY ADJUSTMENT	26/JAN/24
△	ISSUED FOR SITE PLAN CONTROL APPROVAL AND ZONING BY-LAW AMENDMENT	30/OCT/24

ONTARIO PROVINCIAL STANDARD DRAWING	Nov 2015	Rev 2	
<b>HEAVY-DUTY SILT FENCE BARRIER</b>			
			<b>OPSD 219.130</b>



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PROJECT LOCATION:  
7793 YOUNG STREET  
GRASSIE, ONTARIO  
TOWNSHIP OF WEST LINCOLN

PROJECT DESCRIPTION:  
PROPOSED WAREHOUSE  
STORAGE ADDITION



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DRAWING TITLE:  
DETAILS

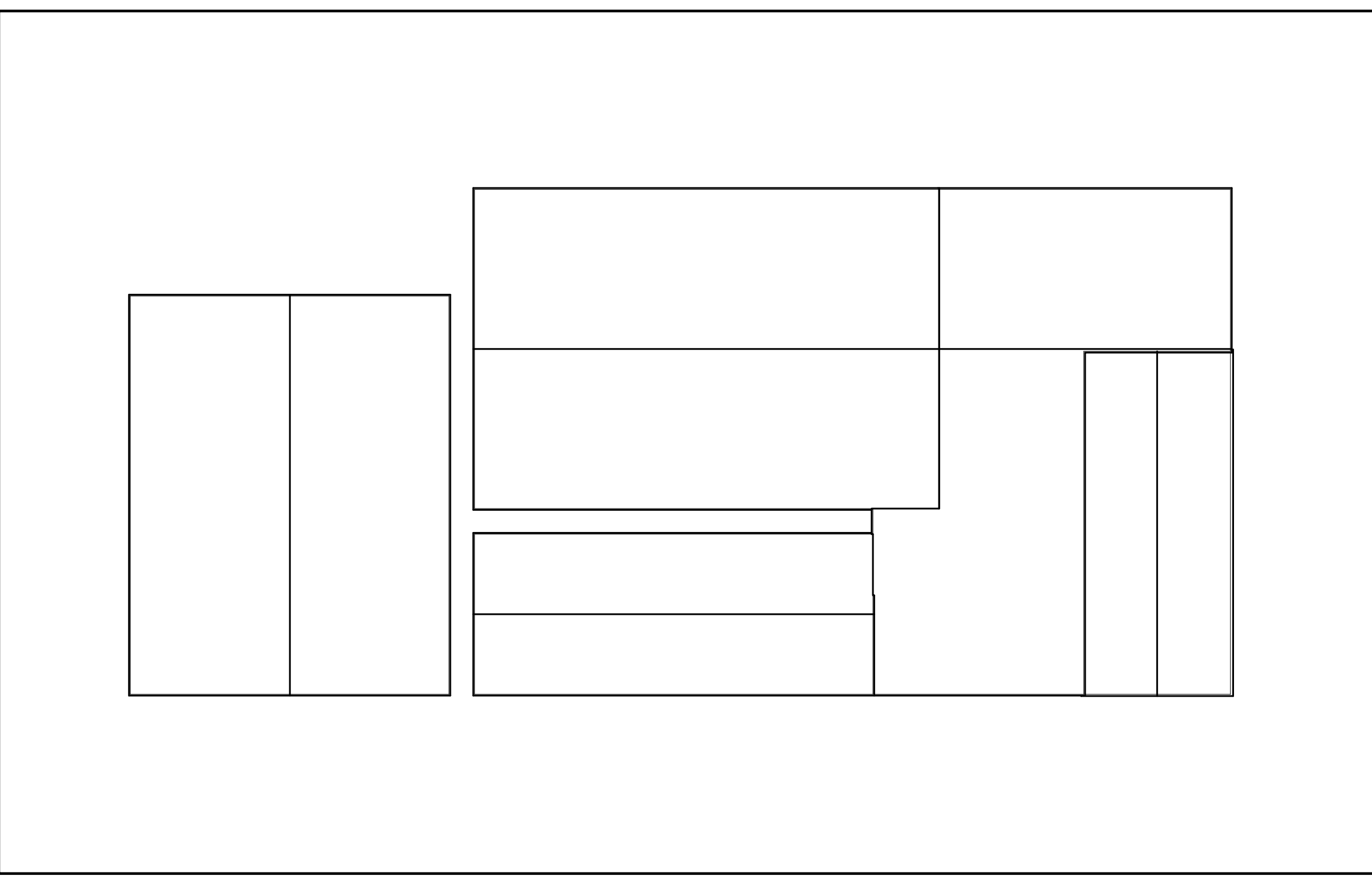
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2023-210  
SCALE:  
N.T.S.

DRAWING NO:  
**SP-5**

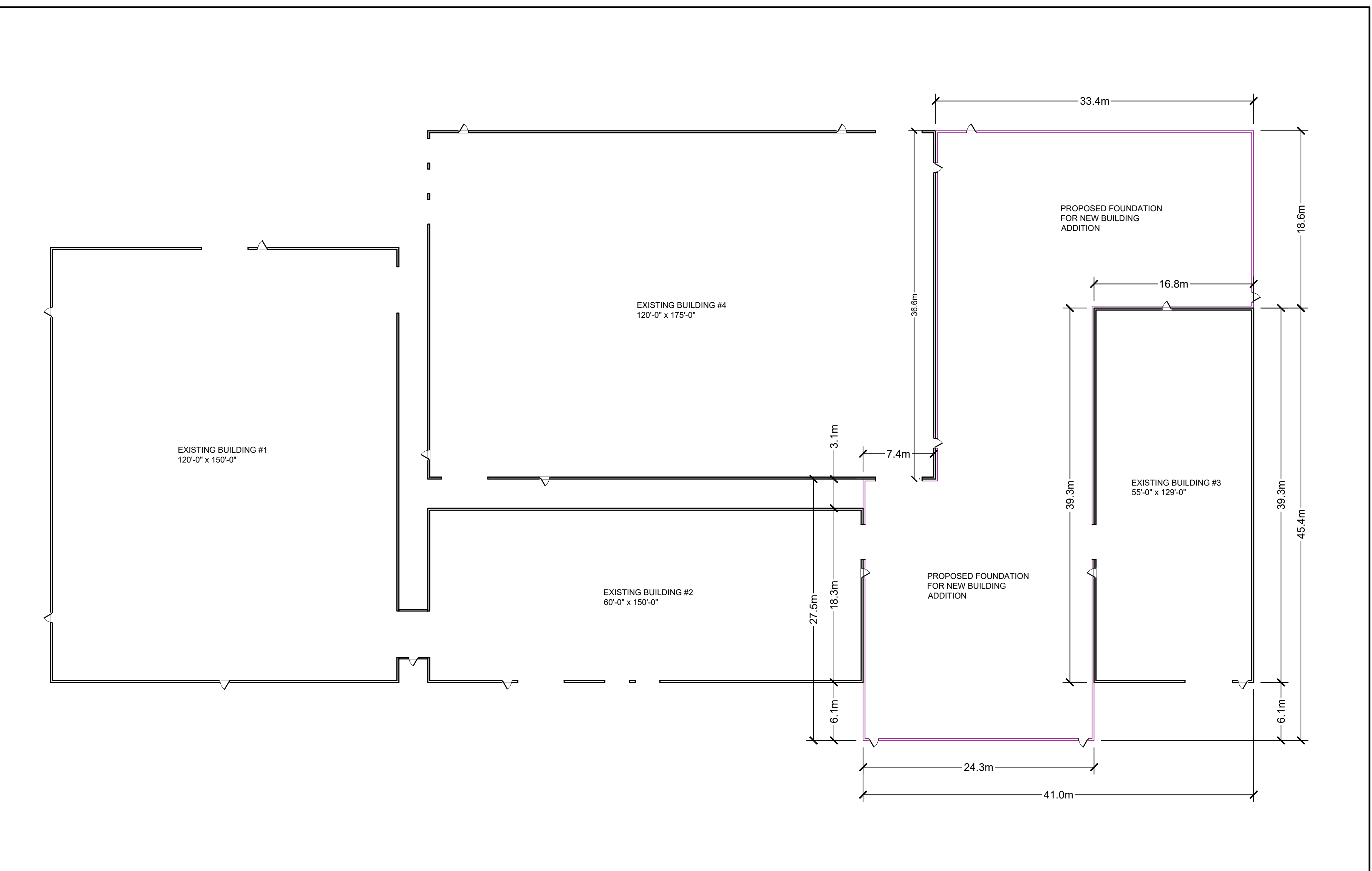
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DWG No. WHERE DETAILED

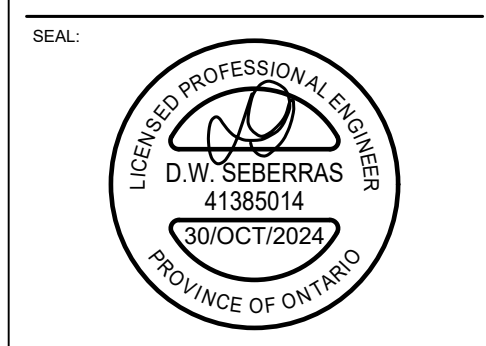
No.	Revision	Date
1	ISSUED FOR GENERAL REVIEW	15/JAN/24
2	ISSUED FOR BOUNDARY ADJUSTMENT	26/JAN/24
3	ISSUED FOR SITE PLAN CONTROL APPROVAL AND ZONING BY-LAW AMENDMENT	30/OCT/24



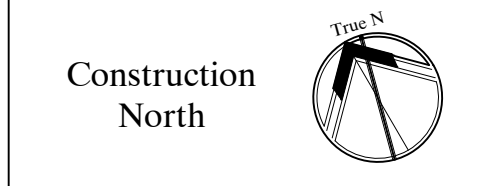
PROPOSED STORAGE BUILDING ROOF PLAN  
SCALE: 1:500



PROPOSED STORAGE BUILDING FLOOR PLAN  
SCALE: 1:300



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PROJECT DESCRIPTION:  
PROPOSED WAREHOUSE  
STORAGE ADDITION



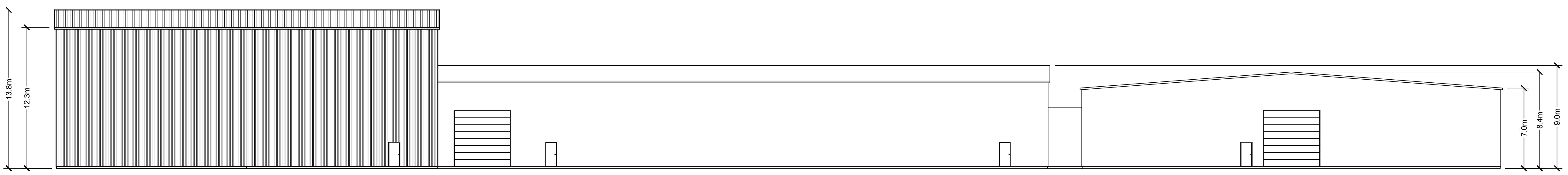
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DSEBERRAS@SEBERRASPROFESSIONAL.COM

DRAWING TITLE:  
PROPOSED STORAGE BUILDING  
FLOOR PLAN AND ROOF PLAN

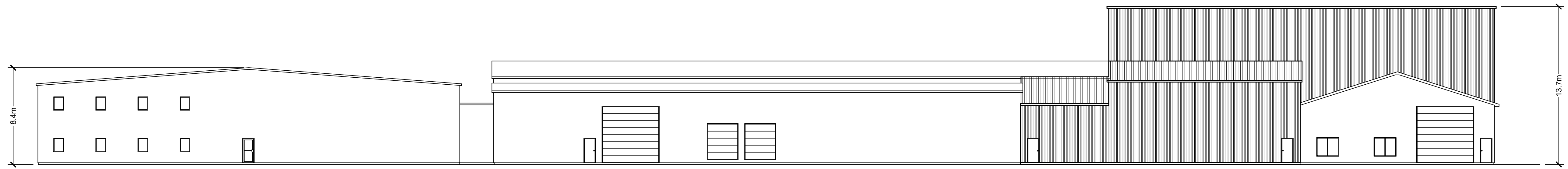
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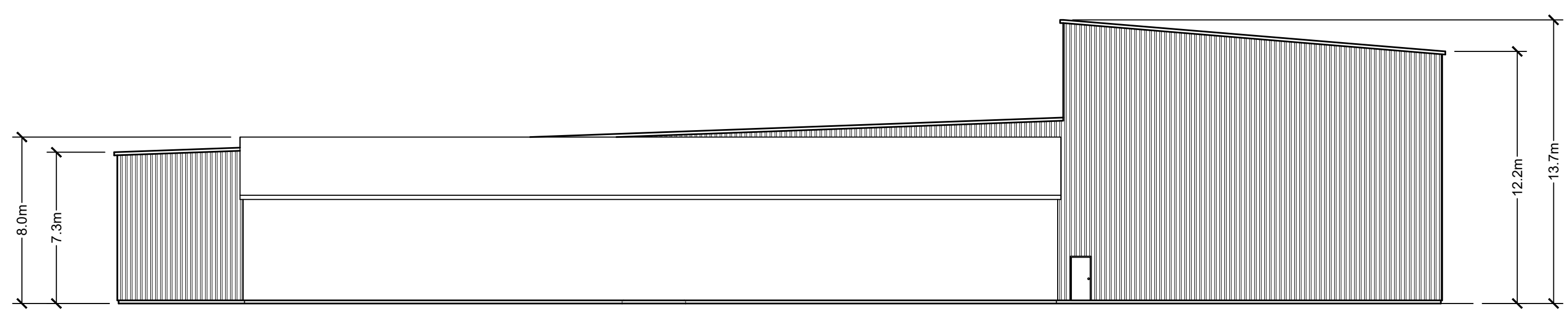
No.	Revision	Date
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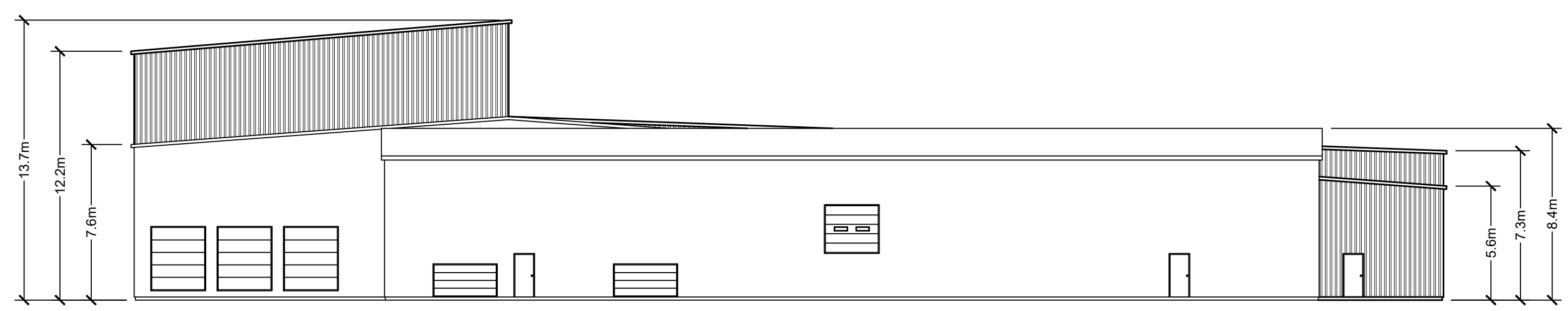
PROPOSED NORTH ELEVATION  
SCALE: 1:200



PROPOSED SOUTH ELEVATION  
SCALE: 1:200



PROPOSED EAST ELEVATION  
SCALE: 1:200



PROPOSED WEST ELEVATION  
SCALE: 1:200

STORAGE BUILDING FINISHES:

MANUFACTURING AREA:

- 24 GA. STEEL ROOF
- 26 GA. STEEL SIDING
- TRIM TO BE WHITE AROUND DOORS AND WINDOWS
- OVERHEAD DOORS TO BE WHITE
- MAN DOORS TO BE GRAY
- COLOR TO MATCH EXISTING BUILDINGS

EXTERIOR BUILDING FINISHES NOTE:

- 1.) CARE SHOULD BE TAKEN WITH THE USE OF METAL PANELS TO ENSURE THEY ARE LOW REFLECTANCE, SUBTLE, NEUTRAL OR EARTH TONES.

ALL BUILDING NOTE:

- 1.) ALL BUILDINGS (WAREHOUSE'S AND MANUFACTURING) ARE SINGLE STOREY IN HEIGHT
- 2.) NO BASEMENTS FOR THE BUILDING (WAREHOUSE'S AND MANUFACTURING)

SEAL:

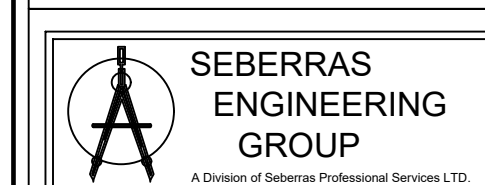


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GRASSIE, ONTARIO  
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PROJECT DESCRIPTION:  
PROPOSED WAREHOUSE  
STORAGE ADDITION



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DRAWING TITLE:  
PROPOSED STORAGE BUILDING  
ELEVATIONS