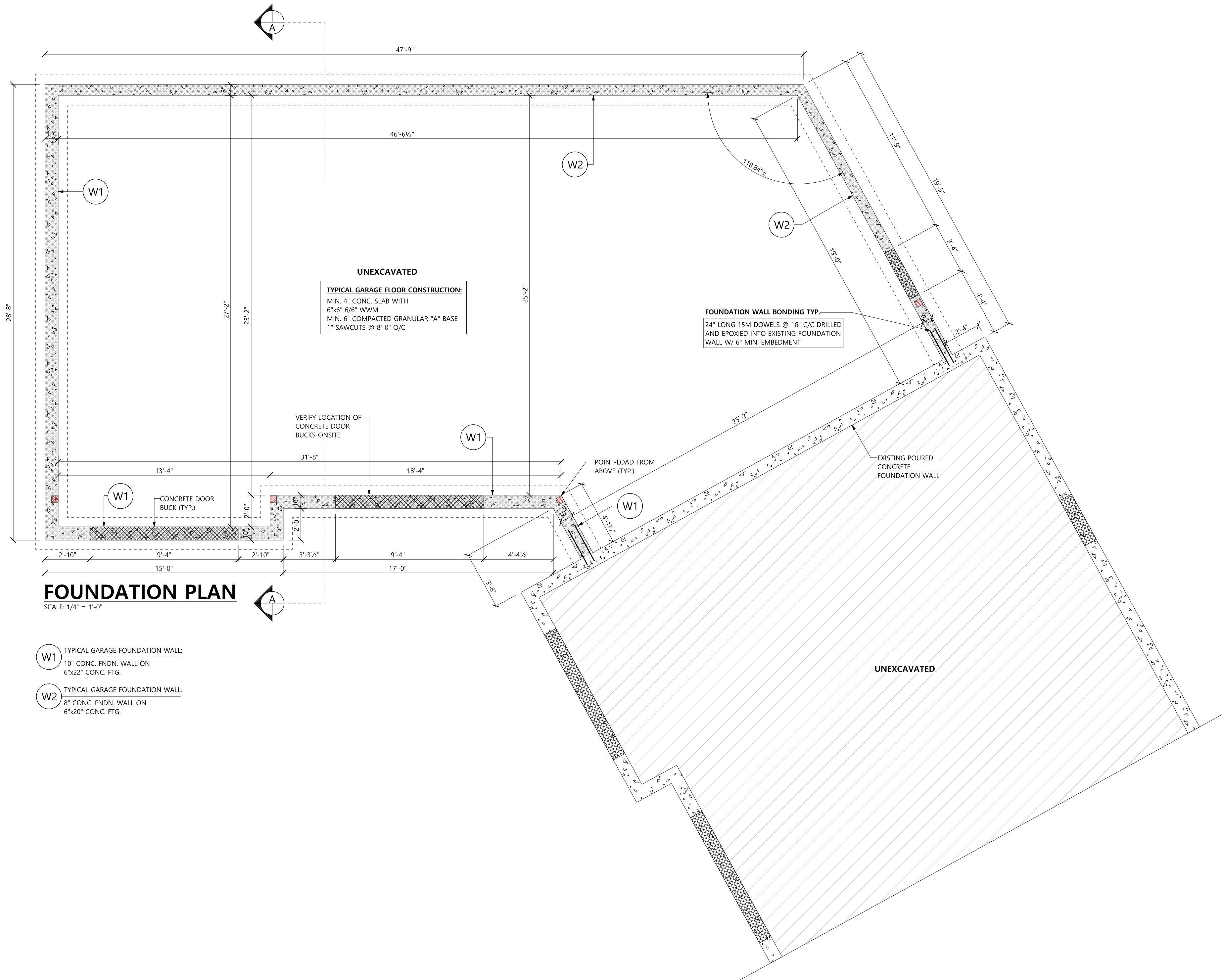


Attachment 2 to COA-38-2024



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

- W1 TYPICAL GARAGE FOUNDATION WALL:
 10" CONC. FNDN. WALL ON
 6"x22" CONC. FTG.
- W2 TYPICAL GARAGE FOUNDATION WALL:
 8" CONC. FNDN. WALL ON
 6"x20" CONC. FTG.

UNEXCAVATED
TYPICAL GARAGE FLOOR CONSTRUCTION:
 MIN. 4" CONC. SLAB WITH
 6"x6" 6/6" WWM
 MIN. 6" COMPACTED GRANULAR "A" BASE
 1" SAWCUTS @ 8'-0" O/C

FOUNDATION WALL BONDING TYP.
 24" LONG 15M DOWELS @ 16" C/C DRILLED
 AND EPOXIED INTO EXISTING FOUNDATION
 WALL W/ 6" MIN. EMBEDMENT

ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE & TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE DESIGNER. ALL CONTRACTORS MUST COMPLY WITH ALL CODES, BYLAWS & OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.
 ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALE. DO NOT SCALE DRAWINGS

S
SOLSTICE
 HOME DESIGN

2 Holcomb Ter,
 Waterdown, ON L8B 1Z8
 (289) 680-7480
 brian.rintjema@gmail.com

BRIAN'S DRAFTING SERVICE
 BCIN 113224

Brian Rintjema
 BCIN 106999
BRIAN RINTJEMA

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

Qualification Information
Brian Rintjema 106999
 Name Signature BCIN

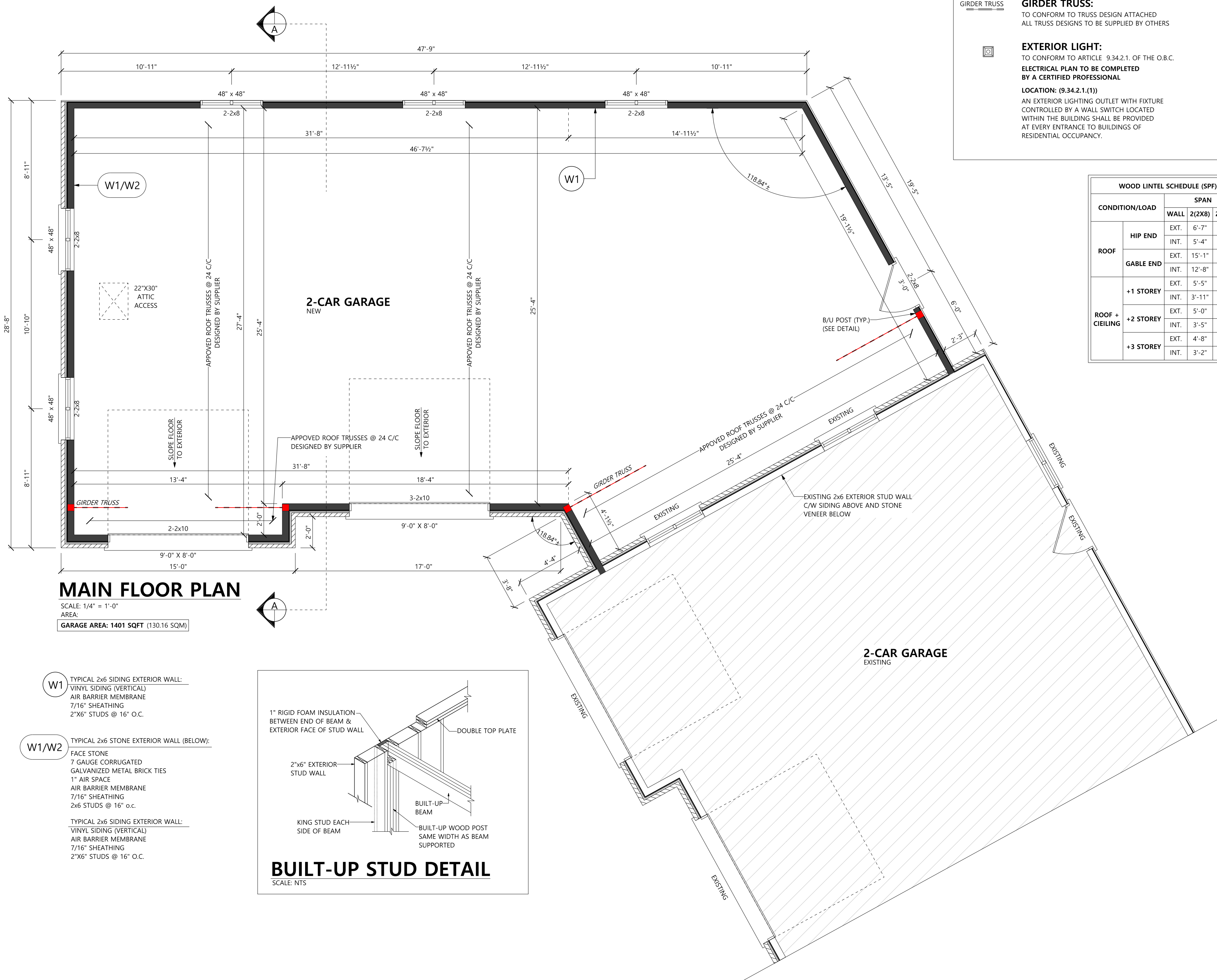
Registration Information
Brian's Drafting Service 113224
 Firm BCIN

DOCHSTADER RESIDENCE
 7948 Concession Rd 7
 Grassie, ON L0R 1M0

PAGE TITLE:
FOUNDATION PLAN

PLOT FORMAT SIZE: 18 X 24	DRAWN BY: Brian Rintjema
DATE: JUNE 14, 2024	SCALE: As Noted

SHEET NO.
1



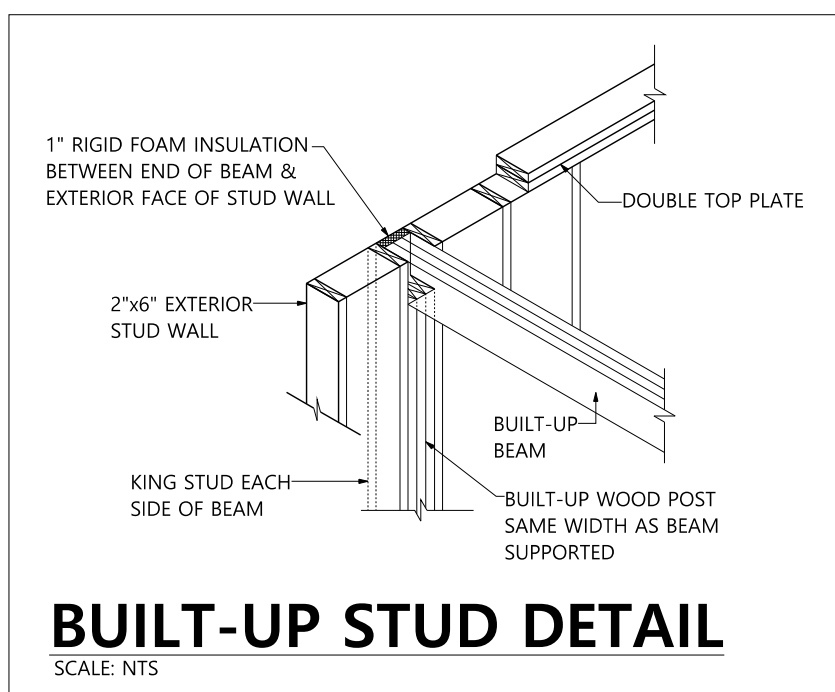
MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"
 AREA:
GARAGE AREA: 1401 SQFT (130.16 SQM)

W1 TYPICAL 2x6 SIDING EXTERIOR WALL:
 VINYL SIDING (VERTICAL)
 AIR BARRIER MEMBRANE
 7/16" SHEATHING
 2"x6" STUDS @ 16" O.C.

W1/W2 TYPICAL 2x6 STONE EXTERIOR WALL (BELOW):
 FACE STONE
 7 GAUGE CORRUGATED
 GALVANIZED METAL BRICK TIES
 1" AIR SPACE
 AIR BARRIER MEMBRANE
 7/16" SHEATHING
 2x6 STUDS @ 16" o.c.

TYPICAL 2x6 SIDING EXTERIOR WALL:
 VINYL SIDING (VERTICAL)
 AIR BARRIER MEMBRANE
 7/16" SHEATHING
 2"x6" STUDS @ 16" O.C.



BUILT-UP STUD DETAIL

SCALE: NTS

LEGEND

GIRDER TRUSS

GIRDER TRUSS:

TO CONFORM TO TRUSS DESIGN ATTACHED
 ALL TRUSS DESIGNS TO BE SUPPLIED BY OTHERS



EXTERIOR LIGHT:

TO CONFORM TO ARTICLE 9.34.2.1. OF THE O.B.C.

ELECTRICAL PLAN TO BE COMPLETED BY A CERTIFIED PROFESSIONAL

LOCATION: (9.34.2.1.(1))

AN EXTERIOR LIGHTING OUTLET WITH FIXTURE CONTROLLED BY A WALL SWITCH LOCATED WITHIN THE BUILDING SHALL BE PROVIDED AT EVERY ENTRANCE TO BUILDINGS OF RESIDENTIAL OCCUPANCY.

WOOD LINTEL SCHEDULE (SPF)		
CONDITION/LOAD	SPAN	
	WALL	2(2X8) 2(2X10)
ROOF	HIP END	EXT. 6'-7" 8'-1"
		INT. 5'-4" 6'-7"
	GABLE END	EXT. 15'-1" 18'-10"
		INT. 12'-8" 16'-3"
ROOF + CEILING	+1 STOREY	EXT. 5'-5" 6'-8"
		INT. 3'-11" 4'-9"
	+2 STOREY	EXT. 5'-0" 6'-1"
		INT. 3'-5" 4'-2"
	+3 STOREY	EXT. 4'-8" 5'-8"
		INT. 3'-2" 3'-10"

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 Firm BCIN

DOCHSTADER RESIDENCE

7948 Concession Rd 7
 Grassie, ON L0R 1M0

PAGE TITLE:

MAIN FLOOR PLAN

PLOT FORMAT SIZE:

18 X 24

DRAWN BY:

Brian Rintjema

DATE:

JUNE 14, 2024

SCALE:

As Noted

SHEET NO.

2

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PAGE TITLE:

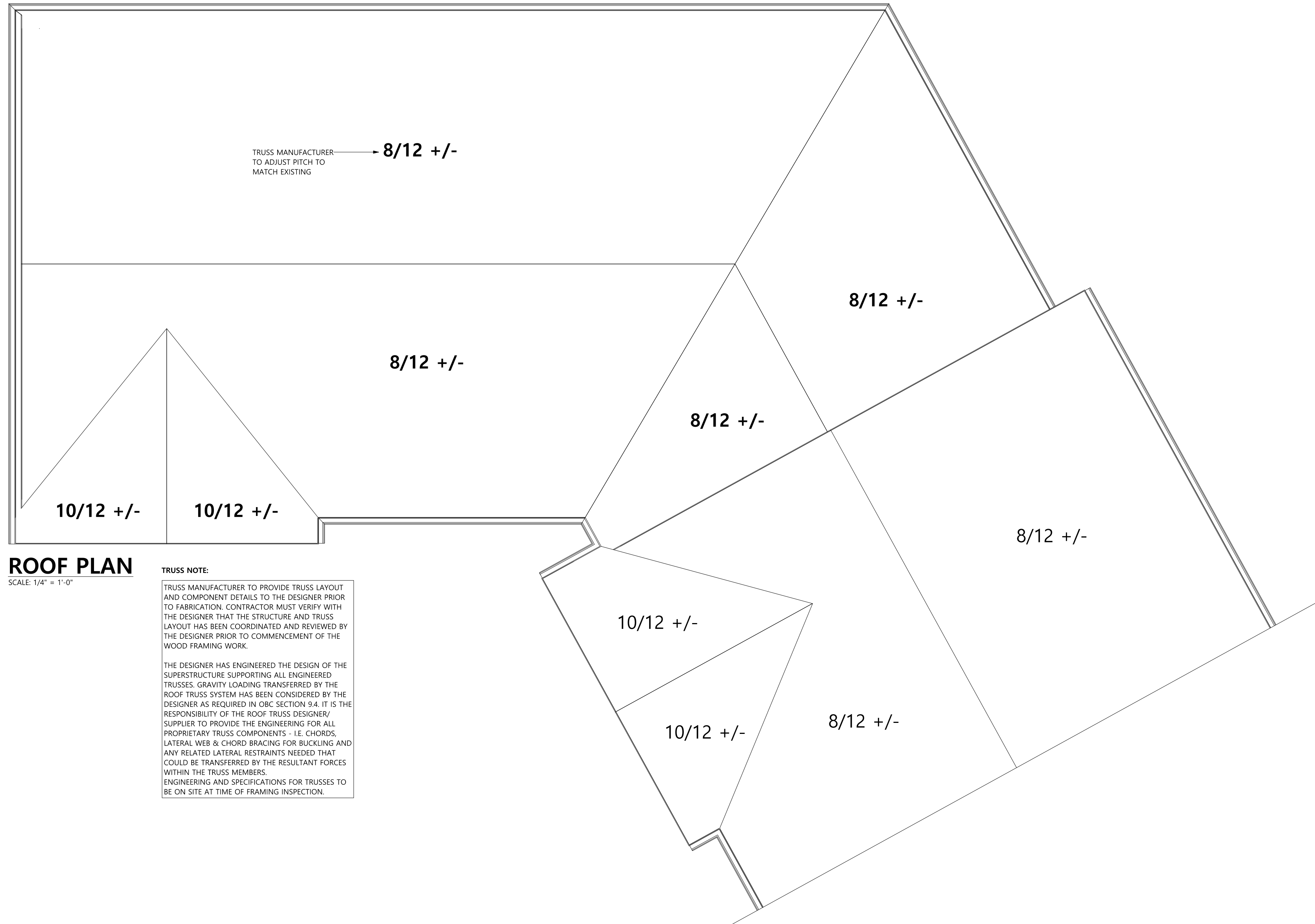
ROOF PLAN

PLOT FORMAT SIZE: 18 X 24
DRAWN BY: Brian Rintjema

DATE: JUNE 14, 2024
SCALE: As Noted

SHEET NO.

3



ROOF PLAN

SCALE: 1/4" = 1'-0"

TRUSS NOTE:

TRUSS MANUFACTURER TO PROVIDE TRUSS LAYOUT AND COMPONENT DETAILS TO THE DESIGNER PRIOR TO FABRICATION. CONTRACTOR MUST VERIFY WITH THE DESIGNER THAT THE STRUCTURE AND TRUSS LAYOUT HAS BEEN COORDINATED AND REVIEWED BY THE DESIGNER PRIOR TO COMMENCEMENT OF THE WOOD FRAMING WORK.

THE DESIGNER HAS ENGINEERED THE DESIGN OF THE SUPERSTRUCTURE SUPPORTING ALL ENGINEERED TRUSSES. GRAVITY LOADING TRANSFERRED BY THE ROOF TRUSS SYSTEM HAS BEEN CONSIDERED BY THE DESIGNER AS REQUIRED IN OBC SECTION 9.4. IT IS THE RESPONSIBILITY OF THE ROOF TRUSS DESIGNER/SUPPLIER TO PROVIDE THE ENGINEERING FOR ALL PROPRIETARY TRUSS COMPONENTS - I.E. CHORDS, LATERAL WEB & CHORD BRACING FOR BUCKLING AND ANY RELATED LATERAL RESTRAINTS NEEDED THAT COULD BE TRANSFERRED BY THE RESULTANT FORCES WITHIN THE TRUSS MEMBERS. ENGINEERING AND SPECIFICATIONS FOR TRUSSES TO BE ON SITE AT TIME OF FRAMING INSPECTION.

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PAGE TITLE:

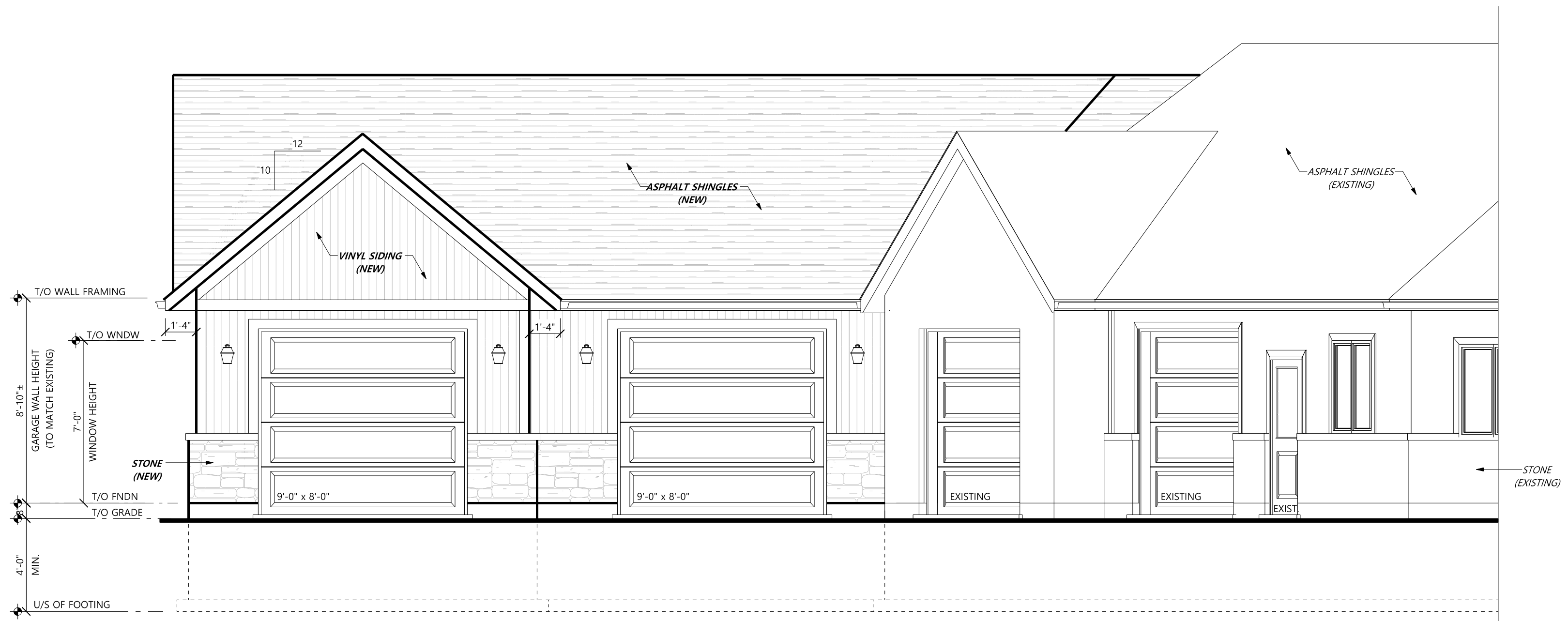
FRONT & LEFT ELEVATION

PLOT FORMAT SIZE: 18 X 24
DRAWN BY: Brian Rintjema

DATE: JUNE 14, 2024
SCALE: As Noted

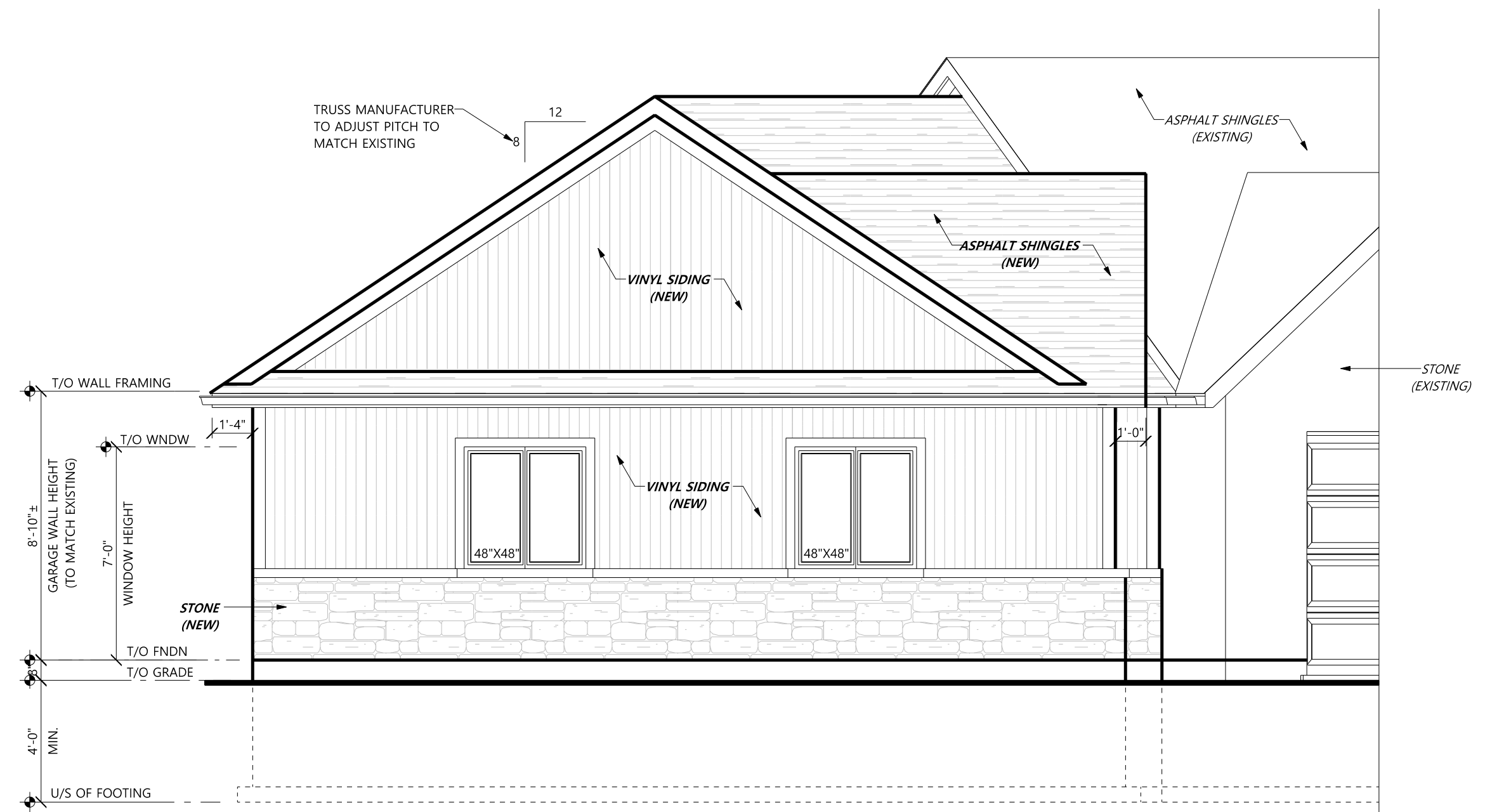
SHEET NO.

4



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

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Name Signature 106999 BCIN

Registration Information

Brian's Drafting Service 113224
Firm BCIN

DOCHSTADER RESIDENCE

7948 Concession Rd 7
Grassie, ON L0R 1M0

PAGE TITLE:

REAR ELEVATION & CROSS SECTION

PLOT FORMAT SIZE:

18 X 24

DRAWN BY:

Brian Rintjema

DATE:

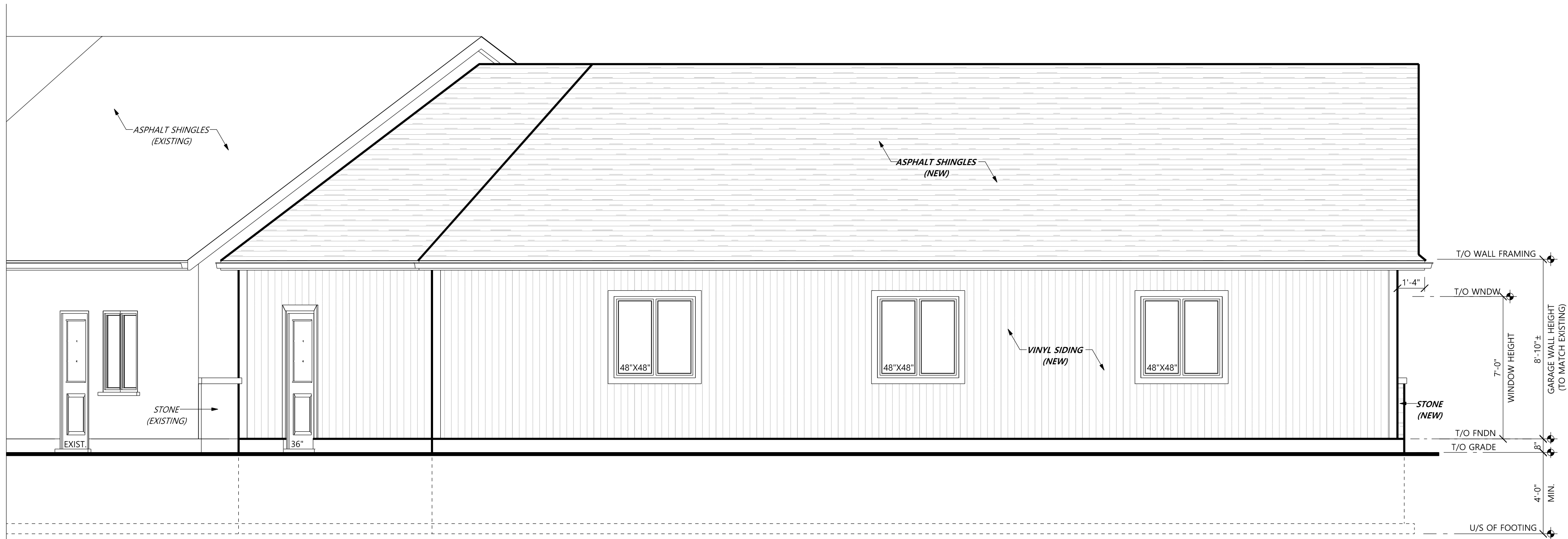
JUNE 14, 2024

SCALE:

As Noted

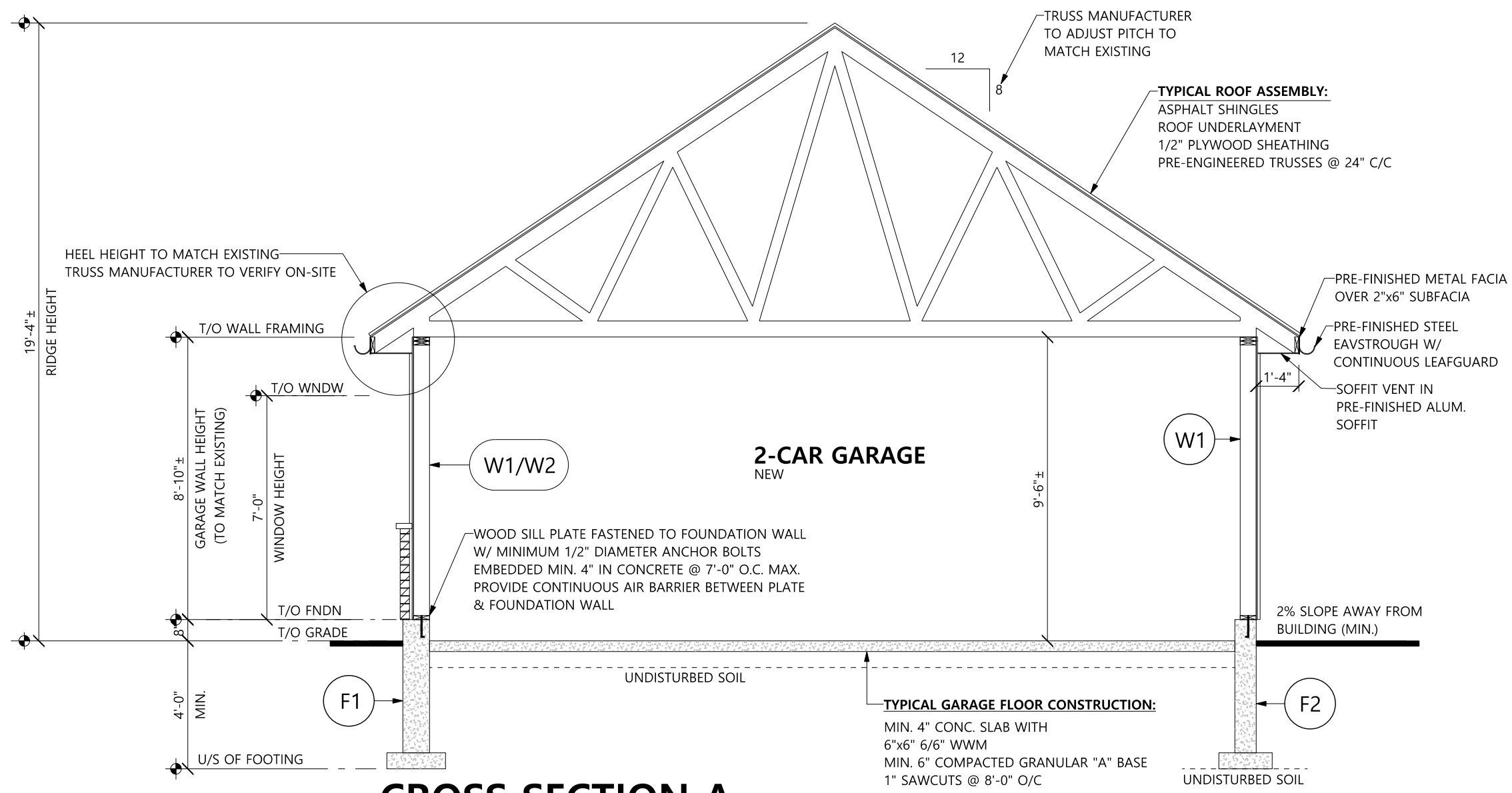
SHEET NO.

5



REAR ELEVATION

SCALE: 1/4" = 1'-0"

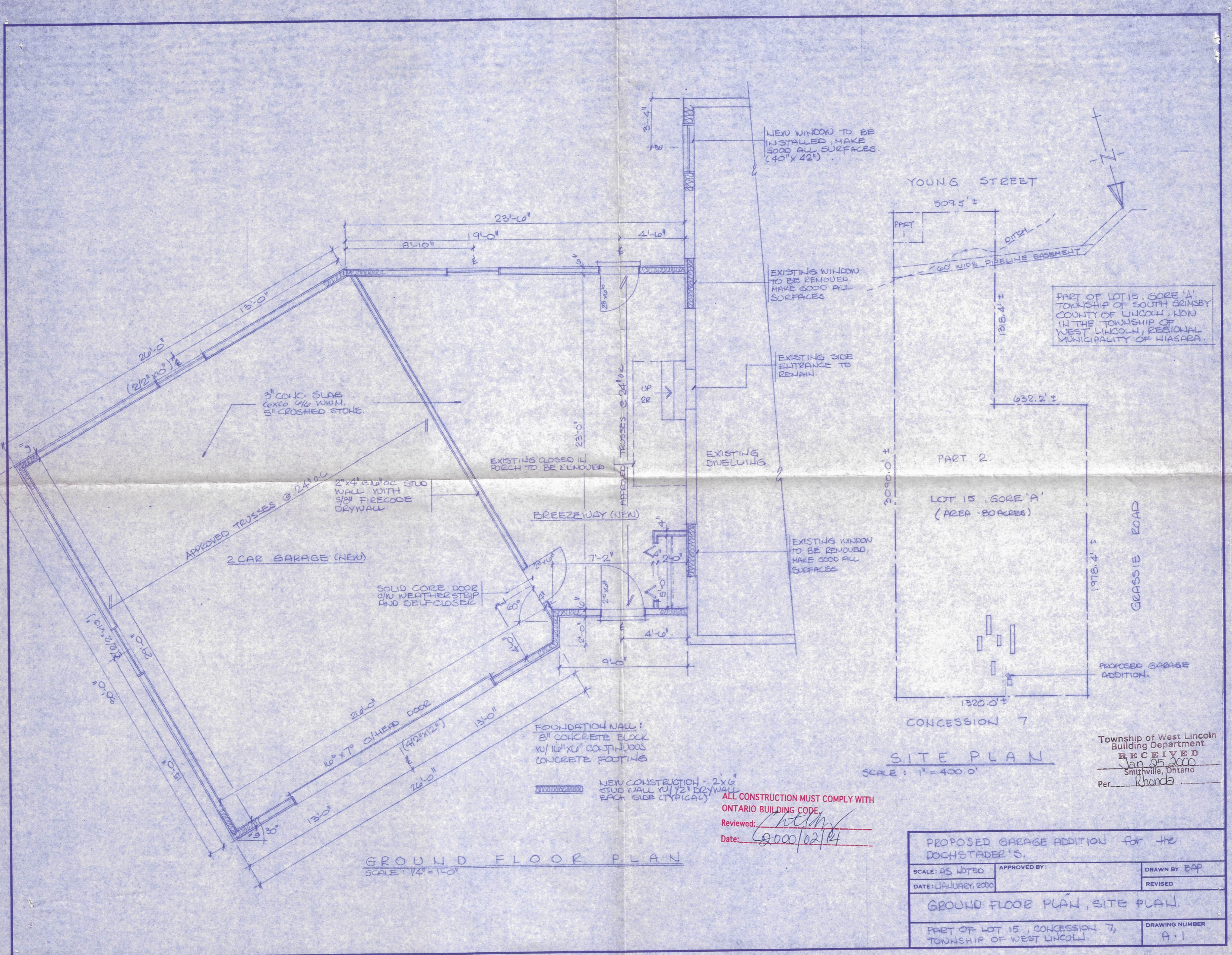


CROSS SECTION A

SCALE: 1/4" = 1'-0"

- W1** TYPICAL 2x6 SIDING EXTERIOR WALL:
VINYL SIDING (VERTICAL)
AIR BARRIER MEMBRANE
7/16" SHEATHING
2"x6" STUDS @ 16" O.C.
- W1/W2** TYPICAL 2x6 STONE EXTERIOR WALL (BELOW):
FACE STONE
7 GAUGE CORRUGATED GALVANIZED METAL BRICK TIES
1" AIR SPACE
AIR BARRIER MEMBRANE
7/16" SHEATHING
2x6 STUDS @ 16" o.c.
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7/16" SHEATHING
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- F1** TYPICAL GARAGE FOUNDATION WALL:
10" CONC. FNDN. WALL ON
6"x22" CONC. FTG.
- F2** TYPICAL GARAGE FOUNDATION WALL:
8" CONC. FNDN. WALL ON
6"x20" CONC. FTG.

TYPICAL GARAGE FLOOR CONSTRUCTION:
MIN. 4" CONC. SLAB WITH
6"x6" 6/6" W/M
MIN. 6" COMPACTED GRANULAR "A" BASE
1" SAWCUTS @ 8'-0" O/C



GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

SITE PLAN
SCALE: 1" = 400.0'

PART OF LOT 15, GORE 'A',
TOWNSHIP OF SOUTH BRIMSBY
COUNTY OF LINCOLN, NOW
IN THE TOWNSHIP OF
WEST LINCOLN, REGIONAL
MUNICIPALITY OF NIAGARA.

NEW WINDOW TO BE
INSTALLED, MAKE
GOOD ALL SURFACES.
(40" x 42")

EXISTING WINDOW
TO BE REMOVED,
MAKE GOOD ALL
SURFACES.

EXISTING SIDE
ENTRANCE TO
REMAIN.

EXISTING
DWELLING

EXISTING WINDOW
TO BE REMOVED,
MAKE GOOD ALL
SURFACES.

Township of West Lincoln
Building Department
RECEIVED
Jan 25, 2000
Smithville, Ontario
Per: Rhonda

ALL CONSTRUCTION MUST COMPLY WITH
ONTARIO BUILDING CODE.
Reviewed: [Signature]
Date: 2000/02/24

PROPOSED GARAGE ADDITION for the DOCHSTADER'S.		
SCALE: AS NOTED	APPROVED BY:	DRAWN BY: BAP
DATE: JANUARY, 2000		REVISED:
GROUND FLOOR PLAN, SITE PLAN.		
PART OF LOT 15, CONCESSION 7, TOWNSHIP OF WEST LINCOLN.		DRAWING NUMBER A-1