

DATE: September 23rd, 2020

REPORT NO: COA-002-20

SUBJECT: **Recommendation Report**
Brian Thiessen
Minor Variance File No. A11/2020WL

CONTACT: Madyson Etzl, Planner II
Brian Treble, Director of Planning and Building

OVERVIEW:

- A Minor Variance application to enlarge a legal non-conforming use has been submitted for 1293 Boyle Road.
- The subject property contains a legal non-conforming dwelling unit as it was built before the Township implemented its first Zoning By-law in 1979, which gave the property an Agriculture Related (AR) zone to recognize the existing business on the property.
- The applicants are proposing a ±20 square metre (±225 sq.ft.) addition that will convert the existing covered porch into living space.
- This Township Planning Staff have reviewed the Minor Variance application against the non-conforming uses policies (18.14.3.b) in the Township's Official Plan and can recommend the approval of this application.

RECOMMENDATION:

That, report COA-002-20, regarding "Brian Thiessen Minor Variance File No. A11/2020WL", dated September 23rd, 2020, BE APPROVED, with the following condition:

1. THAT, an approved NPCA permit be received before issuance of a building permit.

BACKGROUND:

An application has been submitted for a minor variance to extend an existing legal non-conforming use for the property legally known as Concession 2, Part of Lot 25, formerly in the Township of Gainsborough, now in the Township of West Lincoln, municipally known as 1293 Boyle Road (see attachment 1 for a location map).

The subject property contains a legal non-conforming single detached dwelling, as the house was constructed before the Township implemented its first zoning by-law in 1979 and the current Zoning By-law 2017-70, as amended, zoned the property as Agriculturally Related due to the existing business on the property, which does not permit for single detached houses.

This variance is requesting to enlarge the legal non-conforming dwelling unit use by permitting a ± 20 square metre conversion of an existing covered porch into additional living space for the house. Section 45 (2)(a)(i) of the Planning Act R.S.O. 1990, as amended, grants the Committee of Adjustment the power to enlarge a legal non-conforming use (see attachment 2 for a site sketch).

As the gross floor area for the residential space is increased, the applicant's proposal requires a minor variance to expand a legal non-conforming use to permit the conversion of the existing covered porch (which is not currently living space) into additional living space.

CURRENT SITUATION:

This minor variance application will be measured against the policies set out in Section 18.14.3 b) of the Township of West Lincoln's Official Plan (Non-Conforming Uses) to determine if the variance can be recommended for approval. The variance is seeking to permit a conversion of an existing covered porch into additional living space for the existing legal non-conforming house.

Is it a legal non-conforming use? Yes

The existing single detached dwelling was constructed in 1900 according to MPAC data, before the Township's first Zoning By-law was implemented. The current Zoning By-law 2017-70, as amended, put an Agriculturally Related zoning on the property due to the existing business. As such, the existing single detached dwelling has legal non-conforming use status.

Is it possible to relocate the use to a place where it will conform? No.

The subject property is zoned AR-123 which does not permit for a single detached house. Regardless of where the residential addition is proposed on the property, it will continue to be non-conforming as long as a single detached dwelling use continues.

Will the extension or enlargement unduly aggravate the situation already created by the existence of the use? No.

The conversion of an existing covered porch into additional living space will not unduly aggravate the situation as the footprint of the building is not changing.

Can the extension or enlargement be designed to alleviate adverse effects of the use? No.

Regardless of where the enlargement is proposed, the use will continue to operate as a residential dwelling on the property. In addition, the application is proposing to convert an existing covered porch into additional living space, which will not create any adverse effects as the footprint of the residential use will not change.

Are the abutting uses afforded reasonable protection by the provision of appropriate buffering and setbacks? Yes.

As the proposal is converting an existing covered porch into additional living space, there will be no further encroachment towards neighbouring properties. In addition, the smallest

setback to a property line is $\pm 10\text{m}$, which Planning Staff is of the opinion provides reasonable protection to abutting uses. Single detached dwellings in the Rural Residential (RuR) zone require a 9 metre exterior side yard setback. The proposal provides for a $\pm 10\text{m}$ setback from the exterior side yard.

Is the proposed extension or enlargement an appropriate proportion to the size of the non-conforming use? Yes.

The proposed expansion of the legal non-conforming use will increase the gross habitable floor area of the existing dwelling unit by ± 20 square metres. As this is a conversion of an existing covered porch into living space for the residential house, there will be no increase in lot coverage for the legal non-conforming use.

Is adequate provision made for safe access and adequate off-street parking and loading facilities? Yes.

The existing dwelling has safe access from the existing driveway off of Boyle Road. There is no proposal with this application to expand the existing access point for the property. The existing driveway will provide safe and adequate access to the property.

As this is a residential use and not a commercial or industrial use, loading facilities do not apply in this instance. One off-street parking space is required for the existing legal non-conforming dwelling unit. The existing driveway is large enough to accommodate the required parking space. For this reason, Staff is of the opinion that adequate provisions have been made for safe access and off-street parking for the property.

Are all services, including private sewage disposal and water supply systems, adequate? Yes.

The subject parcel is connected to a private sewage system. The Township's Septic Inspector submitted comments for this application stating that he had no objections to the proposal as is.

Is the expansion detrimental to the neighbourhood? No.

The neighbourhood contains a mix of uses, mainly Agriculture and Residential in nature. Permitting this expansion to allow for the conversion of the existing porch into additional living space for the dwelling unit is not a detrimental expansion to the neighbourhood. This expansion will not increase the number of residential units present on the property. In addition, this expansion will not enlarge the footprint of the existing dwelling as it is the conversion of an existing covered porch.

INTER-DEPARTMENTAL COMMENTS:

Agencies were circulated notice on August 24th, 2020. The Township's Public Works Department, and Drainage Superintendent have no objections to the application as proposed. The NPCA have submitted comments that state they will require an approved NPCA permit before the Township can issue an approved building permit for the proposed work. See their full comments at attachment 2.

PUBLIC COMMENTS:

A notice of hearing was circulated to all property owners within a 60 metre radius of the subject property on August 24th, 2020. Public notice was also given by way of a yellow sign that has been posted on the property for a minimum of 10 days. As of Friday September 18th, no written comments have been received in regards to this application.

CONCLUSION:

Staff is of the opinion that the applicant's request to enlarge the legal non-conforming use by permitting the conversion of an existing covered porch into an additional ±20 square metres of living space for the residential dwelling can be recommended for approval with no conditions.

ATTACHMENTS:

1. Site Sketch
2. Agency Comments
3. Proposed Plans

Prepared by:



Madyson Etzl
Planner II

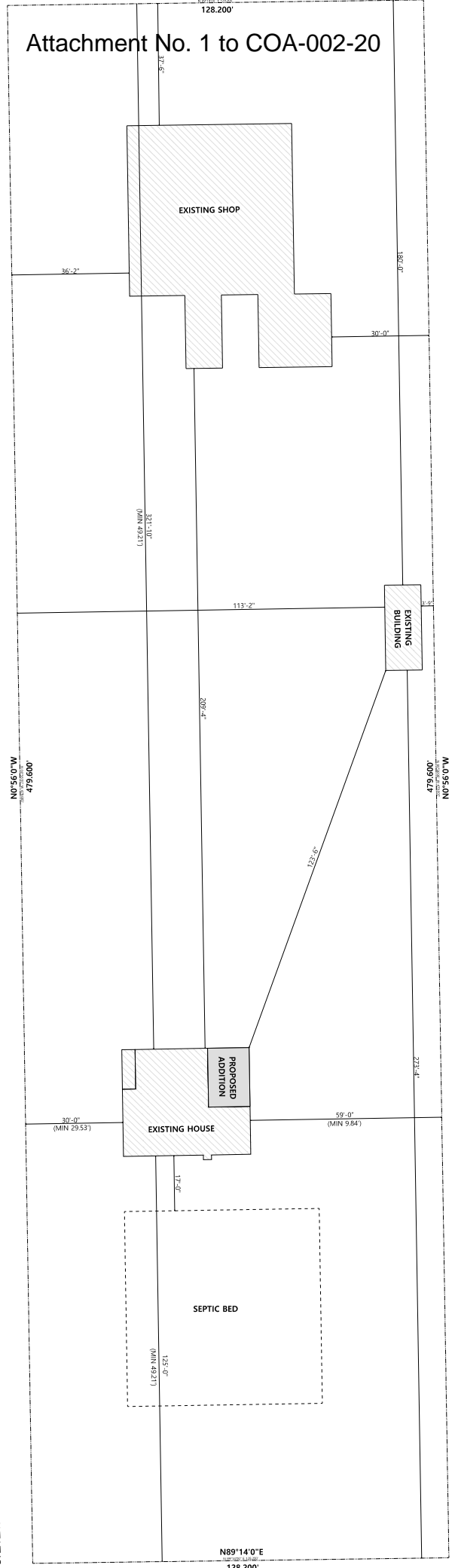


Brian Treble, RPP, MCIP
Director of Planning and Building

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Attachment No. 1 to COA-002-20

BOYLE ROAD



From: [Lyle Killins](#)
To: [Alexa Cooper](#)
Date: September 6, 2020 9:19:07 AM
Attachments: [imagecd01de.JPG](#)
[imagece9b7c.PNG](#)
[imagece30cb.PNG](#)
[image8cd739.PNG](#)

Hi Alexa,

Given the "Performace Level" of the septic system would not be reduced due to the proposed building addtiion, compliance with Part 8, Ontario Building Code appears fulfilled. Thus, no objection to the application as proposed.

Regards

Lyle Killins

Memo

To: Alexa Cooper, Planner I
From: Jennifer Bernard, Coordinator of Engineering Services
Date: September 9, 2020
Re: File A11/2020WL – Brian Thiessen

A review has been completed on this minor variance application to permit for a legal non-conforming use to convert an existing covered porch into additional living space.

Public Works has no comments to provide on this application.

September 14, 2020

Alexa Cooper
318 Canborough St. P.O. Box 400
Smithville, ON L0R 2A0

VIA EMAIL ONLY

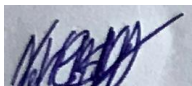
NPCA FILE NO.: PLMV202000874

**SUBJECT: NIAGARA PENINSULA CONSERVATION AUTHORITY (NPCA) COMMENTS FOR
MINOR VARIANCE APPLICATION AT 1293 BOYLE ROAD IN THE TOWNSHIP OF
WEST LINCOLN – FILE NO. A11/2020WL**

The NPCA has reviewed the proposed Minor Variance application at the subject property, 1293 Boyle Road, West Lincoln. As part of the Township's review process, the NPCA has been circulated the application for review due to the presence of Regulated Areas on the property. Based on our review, we offer the following comments.

1. NPCA mapping indicates that the subject property is impacted by a 30m buffer associated with the Provincially Significant Wetland (PSW) known as the Highway 20 and 24 Wetland Complex located on the adjacent property to the east. In accordance with NPCA Policy, development and site alterations are generally not permitted within the 30m buffer of a Wetland.
2. In some cases, minor additions are permitted within 30m of a Wetland. The proposed conversion of the existing covered porch into a sunroom is an example of a minor addition. In this case, a Permit from our office will be required prior to the issuance of any development Permits from the Township of West Lincoln.
3. Please note that there is a potential violation on the subject property. There appears to be accessory structures that have been constructed within the PSW buffer without a permit from the NPCA. With the permission of the property owner, an NPCA staff member will need to conduct a site visit on the subject property in order to determine if there are violations on the subject property. Please note that the NPCA cannot provide a permit for future works on the subject property until all violations have been resolved.

Yours truly,



Nikolas Wensing, Watershed Planner
Niagara Peninsula Conservation Authority

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALE. DO NOT SCALE DRAWINGS

Brian's Drafting Service

8973 Twenty Rd.
Smithville, ON, L0R 2A0

(289) 680-7480

brian.rintjema@gmail.com



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

Qualification Information
Brian Rintjema 106999
Name Signature BCIN
Registration Information

Brian's Drafting Service 113224
Firm BCIN

THIESSEN RESIDENCE

1293 Boyle Rd.
Fenwick, ON L0S 1C0

PAGE TITLE:

MAIN FLOOR PLAN & FOUNDATION PLAN

SCALE: 1/8"=1'-0"

AREA:
EXISTING HOUSE: 997 SQFT
EXISTING PORCH: 50 SQFT
NEW SUNROOM: 220 SQFT

SEE PAGE 3 "SPECIFICATIONS" FOR WOOD-FRAME AND BASEMENT CONSTRUCTION NOTES

PLOT FORMAT SIZE:

11 X 17

DATE:

APRIL 03, 2020

DRAWN BY:

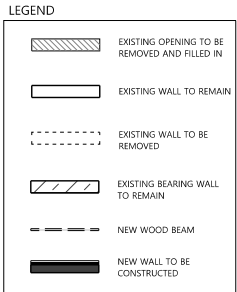
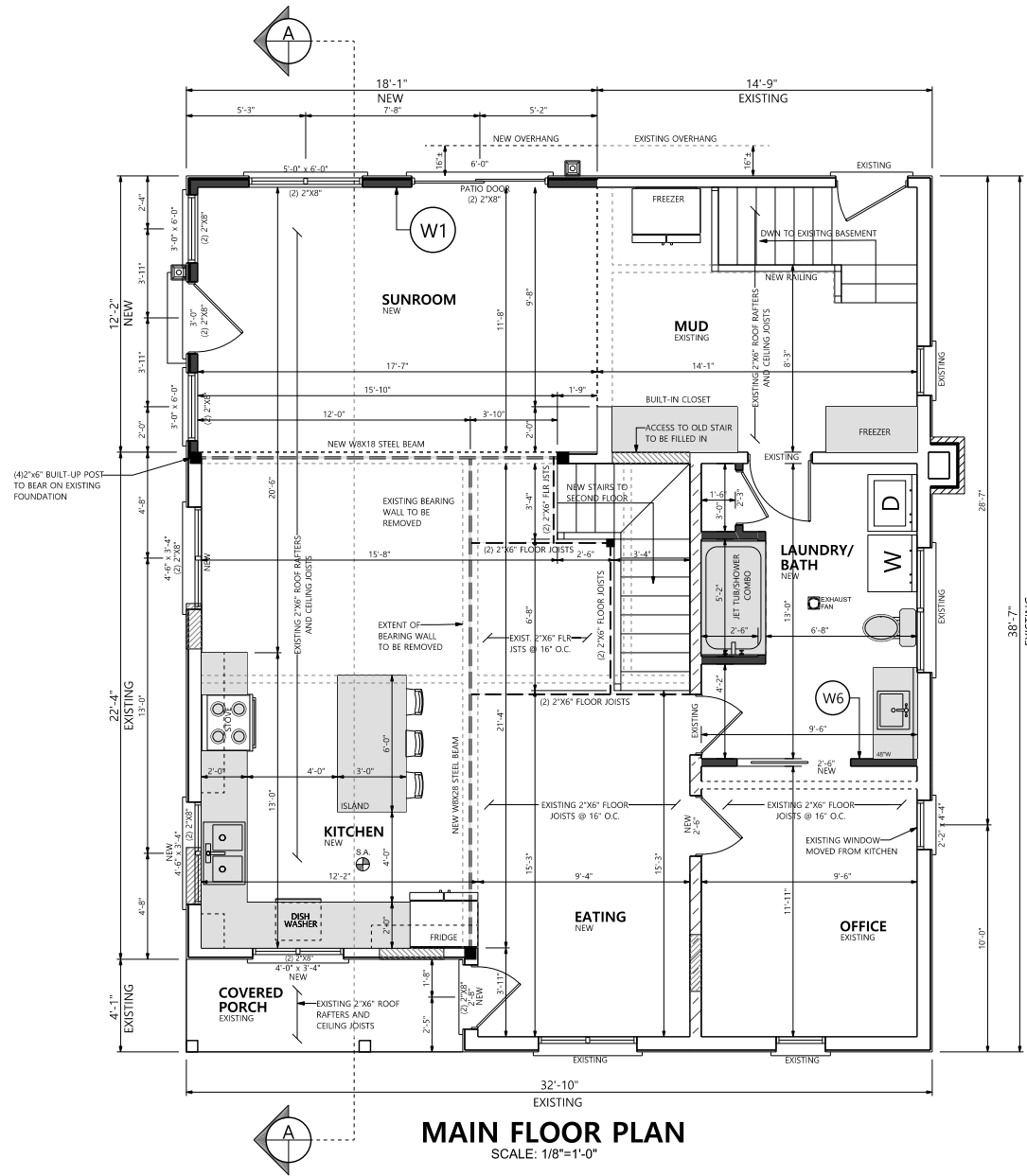
Brian Rintjema

SHEET NO.

1 OF 4

SCALE:

As Noted



W1 TYPICAL 2x6 SIDING EXTERIOR WALL:
VINYL SIDING (HORIZONTAL)
1"x4" HORIZONTAL STRAPPING @ 16" O.C.
AIR BARRIER MEMBRANE
7/16" SHEATHING
2"x6" STUDS @ 16" O.C.
R20 BATT INSULATION
VAPOUR BARRIER
1/2" DRYWALL
TAPED & SANDED

W6 TYPICAL INTERIOR WALL:
1/2" DRYWALL
TAPED & SANDED
2x4 STUDS @ 16" O.C.
1/2" DRYWALL
TAPED & SANDED

LEGEND

SA SMOKE ALARMS:
TO CONFORM TO ARTICLE 9.10.19 OF THE O.B.C.
LOCATION: (9.10.19.3)
TO BE LOCATED IN EACH SLEEPING ROOM
TO BE LOCATED IN THE HALLWAY ATTACHED TO SLEEPING ROOMS
TO BE ON EACH STOREY INCLUDING BASEMENT
POWER SUPPLY: (9.10.19.4)
TO BE INSTALLED WITH PERMANENT CONNECTIONS TO AN ELECTRICAL CIRCUIT
TO BE PROVIDED WITH A BATTERY AS AN ALTERNATIVE POWER SOURCE
INTERCONNECTION: (9.10.19.5)
ALL SMOKE ALARMS SHALL BE WIRED SO THAT ONE ALARM WILL CAUSE ALL ALARMS TO SOUND

EXHAUST FANS:
TO CONFORM TO ARTICLE 9.32.3.5 OF THE O.B.C.
LOCATION: (9.32.3.5.(2))
AN EXHAUST AIR INTAKE SHALL BE INSTALLED IN EACH KITCHEN, BATHROOM AND WATER CLOSET ROOM.
ALTERNATIVE: (9.32.3.5.(9))
SUPPLEMENTAL EXHAUST REQUIRED IN THIS ARTICLE MAY BE PROVIDED BY MEANS OF A HRV INSTALLED IN ACCORDANCE WITH ARTICLE 9.32.3.11.

EXTERIOR LIGHT:
TO CONFORM TO ARTICLE 9.34.2.1 OF THE O.B.C.
ELECTRICAL PLAN TO BE COMPLETED BY A CERTIFIED PROFESSIONAL
LOCATION: (9.34.2.1.(1))
AN EXTERIOR LIGHTING OUTLET WITH FIXTURE CONTROLLED BY A WALL SWITCH LOCATED WITHIN THE BUILDING SHALL BE PROVIDED AT EVERY ENTRANCE TO BUILDINGS OF RESIDENTIAL OCCUPANCY.

EGRESS FOR BEDROOMS:
TO CONFORM TO ARTICLE 9.9.10.1 OF THE O.B.C.
LOCATION: (9.9.10.1.(1))
EVERY FLOOR LEVEL CONTAINING A BEDROOM SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT:
OPERATION IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS
DIMENSIONS PROVIDES AND INDIVIDUAL UNOBSTRUCTED OPEN PORTION HAVING A MIN. AREA OF 3.775SQFT WITH NO DIMENSION LESS THAN 15"

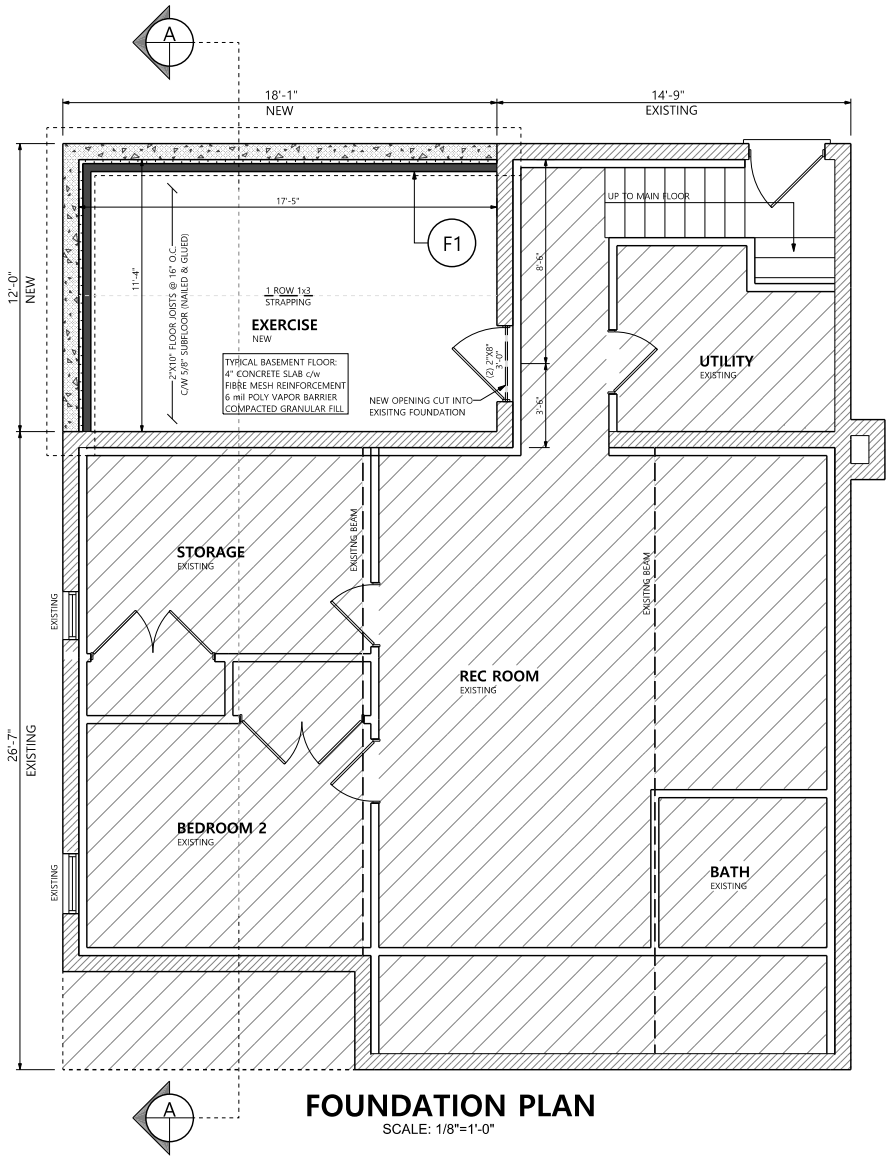
MAINTAINS THE REQUIRED OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT
SHALL HAVE A MAXIMUM SILL HEIGHT OF 39"

STAIRS:
TO CONFORM TO ARTICLE 9.8 OF THE O.B.C.
SEE STAIR NOTES ON SPECIFICATION PAGE FOR DETAILS.

PRE-ENGINEERED LVL:
ALL PRE-ENG. LVLS TO BE DESIGNED AND SIZED ACCORDING TO APPROVED THIRD PARTY CALCULATIONS

COOKTOP CLEARANCES:
TO CONFORM TO ARTICLE 9.10.22.2 OF THE O.B.C.
SPECIFICATIONS:
30" MIN. CLEARANCE BETWEEN COMBUSTIBLE FRAMING FINISHES AND CABINETRY INSTALLED DIRECTLY ABOVE THE COOKTOP (9.10.22.2.(1))
24" MIN. CLEARANCE BETWEEN NON-COMBUSTIBLE FRAMING FINISHES AND CABINETRY INSTALLED DIRECTLY ABOVE THE COOKTOP
VENTILATION:
TO BE VENTED WITH NON-COMBUSTIBLE DUCT TO EXTERIOR

F1 BASEMENT WALL:
8" CONC. FNDN. WALL ON 6"x20" CONC. FTG.
DAMP-PROOFING BELOW GRADE
APPROVED DRAINAGE LAYER
2" RIGID R10 INSULATION C/W
2"x4" WALL STRAPPING @ 24" O.C. C/W R12 INSULATION
VAPOUR BARRIER



FOUNDATION PLAN
SCALE: 1/8"=1'-0"

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THIESSEN RESIDENCE

1293 Boyle Rd.
Fenwick, ON L0S 1C0

PAGE TITLE:

ELEVATIONS

PLOT FORMAT SIZE:

11 X 17

DATE:

APRIL 03, 2020

DRAWN BY:

Brian Rintjema

SHEET NO.

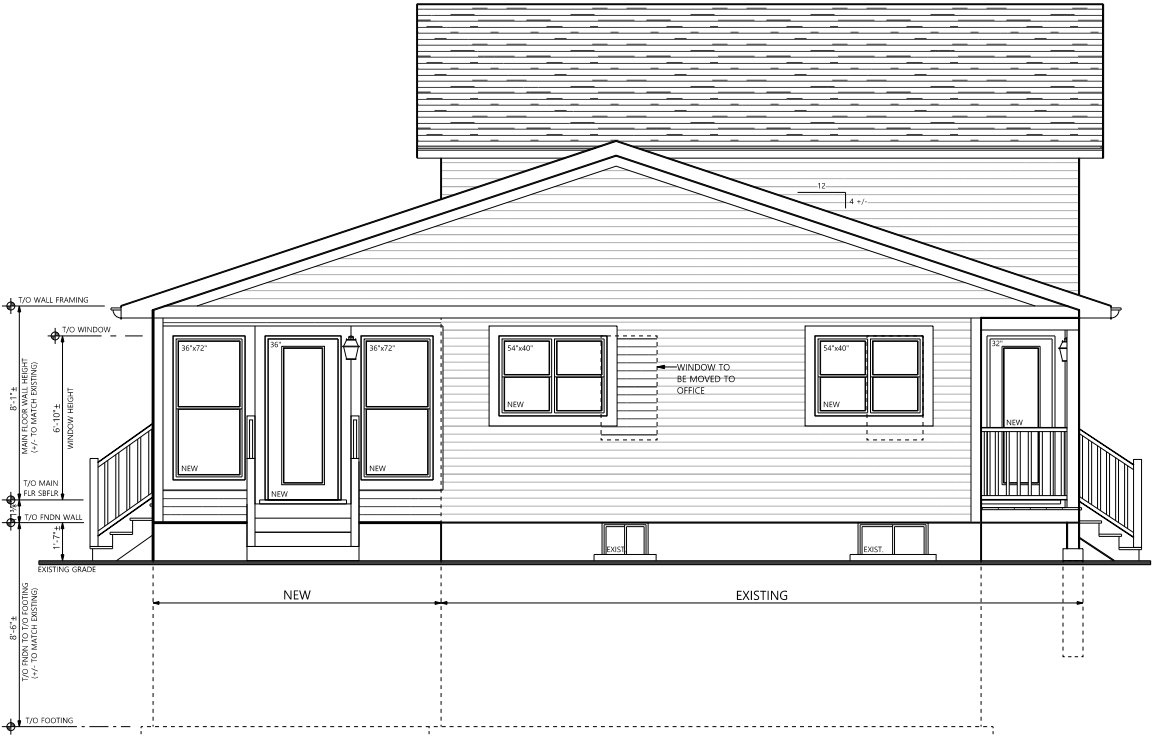
2 OF 4

SCALE:

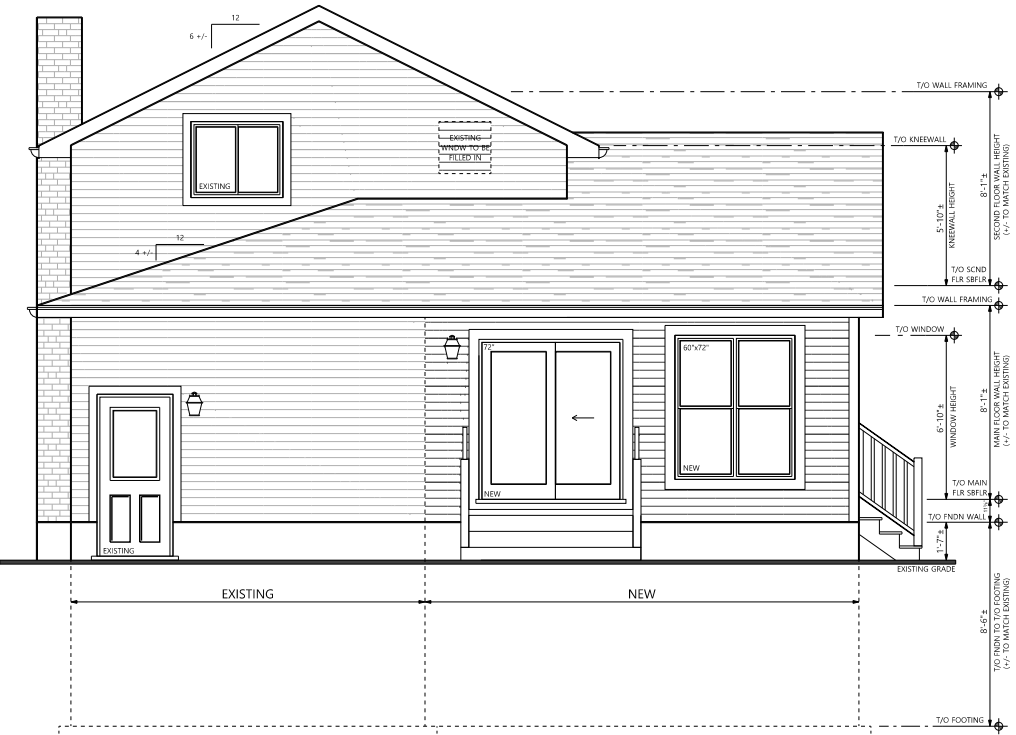
As Noted



FRONT ELEVATION
SCALE: 1/8"=1'-0"



LEFT ELEVATION
SCALE: 1/8"=1'-0"



REAR ELEVATION
SCALE: 1/8"=1'-0"



RIGHT ELEVATION
SCALE: 1/8"=1'-0"

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THIESSEN RESIDENCE

1293 Boyle Rd.
Fenwick, ON L0S 1C0

PAGE TITLE:

EXISTING MAIN,
SECOND &
FOUNDATION PLAN

PLOT FORMAT SIZE:

11 X 17

DATE:

APRIL 03, 2020

DRAWN BY:

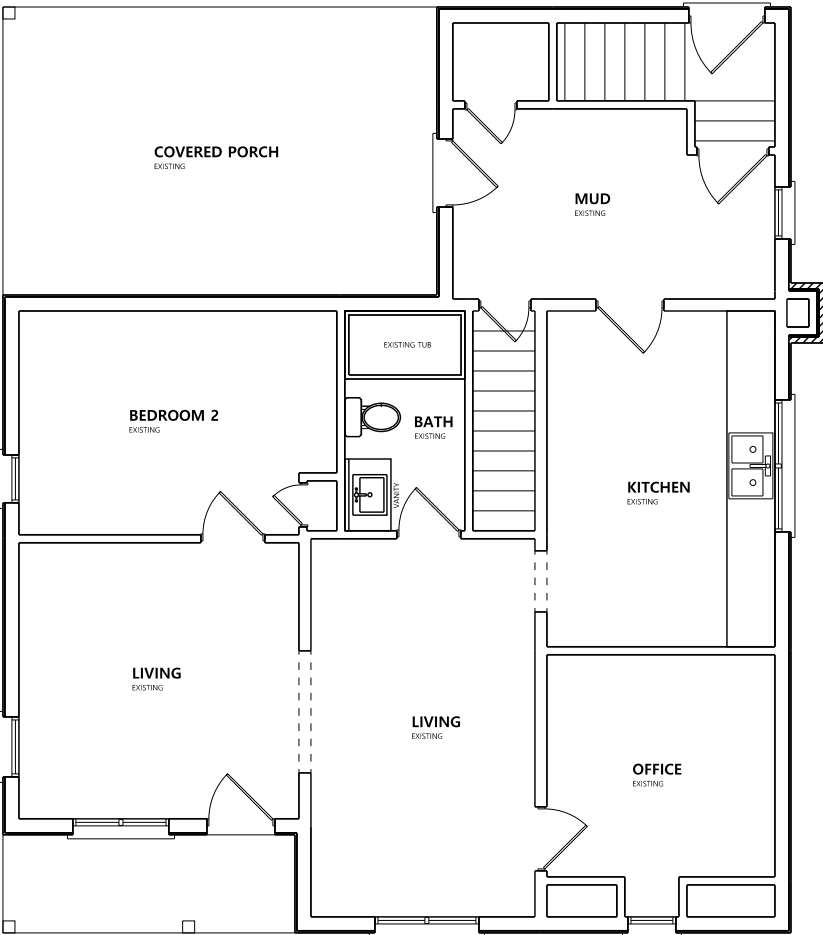
Brian Rintjema

SHEET NO.

4 OF 4

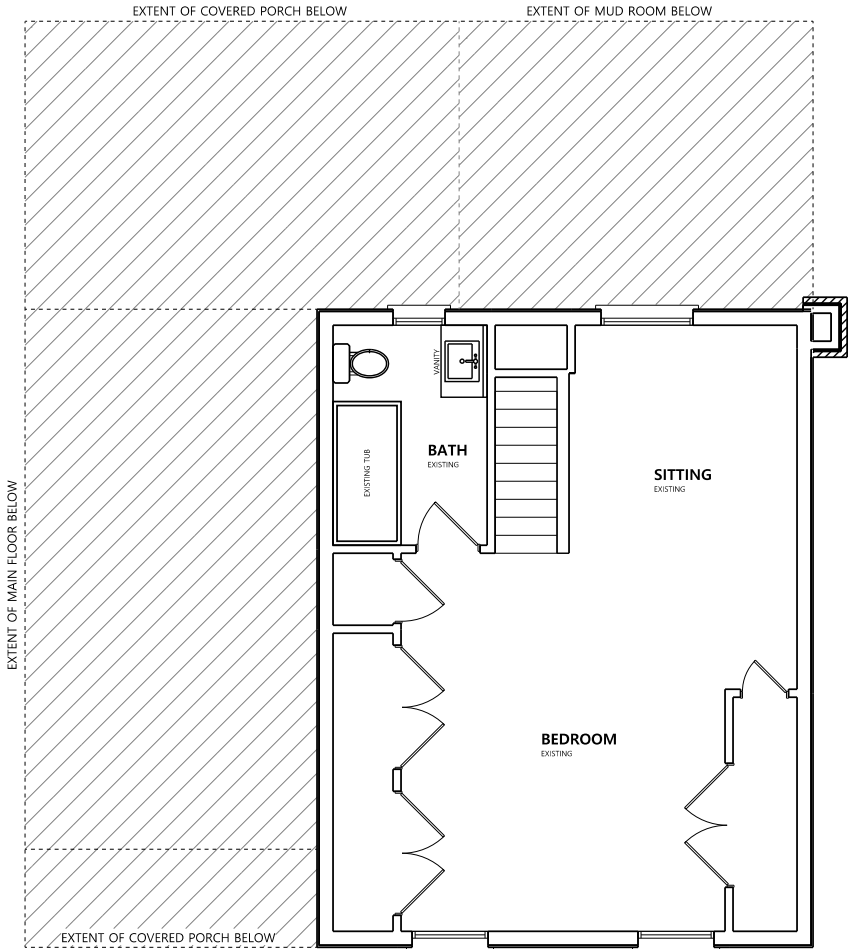
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As Noted



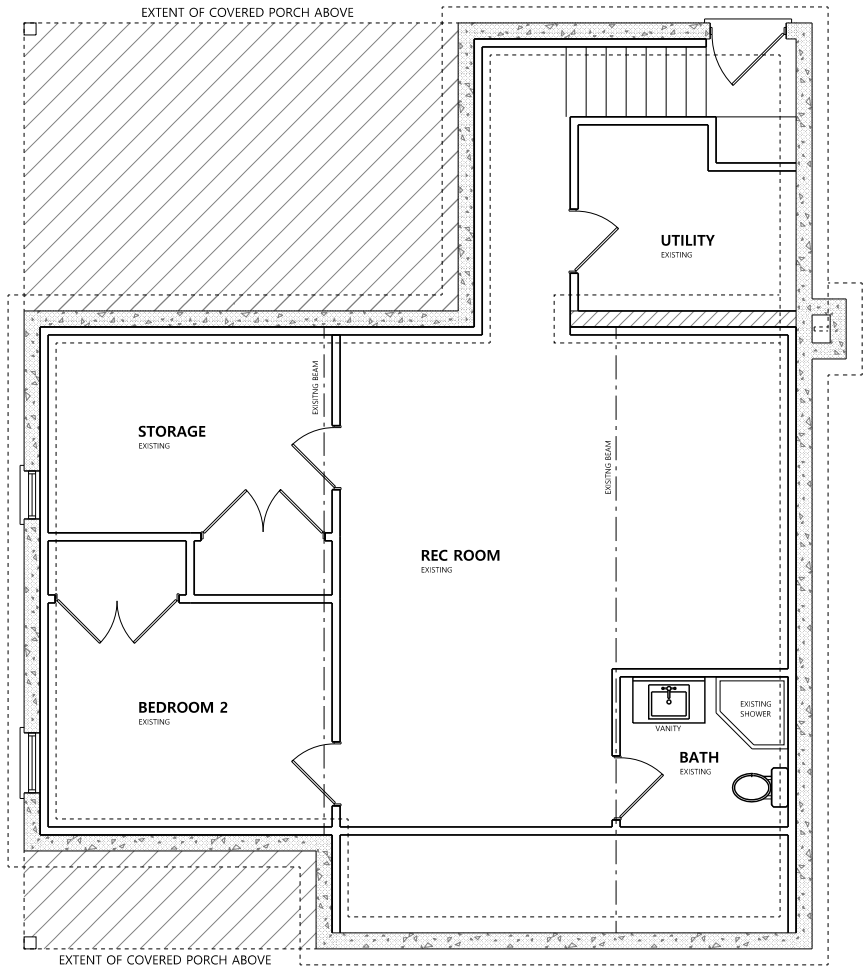
EXISTING MAIN FLOOR PLAN

SCALE: NTS



EXISTING SECOND FLOOR PLAN

SCALE: NTS



EXISTING FOUNDATION PLAN

SCALE: NTS

ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE & TO REPORT ANY ERRORS AND/OR OMISSIONS TO THE DESIGNER. ALL CONTRACTORS MUST COMPLY WITH ALL CODES, BYLAWS & OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALE. DO NOT SCALE DRAWINGS

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Qualification Information

Brian Rintjema 106999
Name Signature BCIN

Registration Information

Brian's Drafting Service 113224
Firm BCIN

THIESSEN RESIDENCE

1293 Boyle Rd.
Fenwick, ON L0S 1C0

PAGE TITLE:

CROSS SECTION & ROOF PLAN

PLOT FORMAT SIZE:

11 X 17

DATE:

APRIL 03, 2020

DRAWN BY:

Brian Rintjema

SHEET NO.

SCALE:

As Noted

3 OF 4

STAIRS:
TO CONFORM TO ARTICLE 9.8. OF THE O.B.C.

CLEAR HEIGHT
CLEAR HEIGHT OVER STAIRS IS MEASURED VERTICALLY FROM A LINE DRAWN THROUGH THE OUTER EDGES OF THE NOSINGS

CLEAR HEIGHT MUST NOT BE LESS THAN 6'-5"

STAIR TOLERANCES
DIFFERENCE BETWEEN GREATEST AND SMALLEST TREAD DEPTH WITHIN A FLIGHT OF STAIRS IS LIMITED TO 3/8"

DIFFERENCE BETWEEN HIGHEST AND LOWEST RISERS WITHIN A FLIGHT OF STAIRS IS LIMITED TO 3/8"

DIFFERENCE FOR TREAD DEPTH OR RISER HEIGHT FOR ADJACENT STAIRS CANNOT EXCEED 3/16"

MAXIMUM DEPTH OF BEVELED OR ROUNDED EDGE IS 1"

ROUNDED OR BEVELED LEADING EDGES OF TREADS CAN NOT REDUCE THE REQUIRED TREAD DEPTH BY MORE THAN 5/8"

STRINGERS
9.8.9.4

TO HAVE A MINIMUM EFFECTIVE (CUT) DEPTH OF 3 1/2" MEASURED PERPENDICULARLY TO THE BOTTOM OF THE STRINGER AT THE POINT OF MIN. CROSS SECTION

TO HAVE AN OVERALL DEPTH OF NOT LESS THAN 9 1/4"

TO BE SUPPORTED AND SECURED TOP AND BOTTOM TO BE NOT LESS THAN 1 1/2" THICK

TO BE SPACED NOT MORE THAN 2'-11" O.C.

TREAD
9.8.9.5

TO BE NOT LESS THAN 1" THICK

FINISHES SHALL BE SLIP RESISTANT

FINISHES TO COMPLY WITH SENTENCE 9.8.9.6(2)

EXTERIOR STEPS
9.8.9.3

EXTERIOR WOOD STEPS MUST NOT BE IN DIRECT CONTACT WITH THE GROUND UNLESS SUITABLY TREATED WITH A WOOD PRESERVATIVE

HANDRAILS:
TO CONFORM TO ARTICLE 9.8.7. IN THE OBC

CONTINUITY:
HANDRAILS SHALL BE CONSTRUCTED WITH NO OBSTRUCTION ON OR ABOVE THEM TO BREAK A HANDHOLD EXCEPT WHERE THE HANDRAILS ARE INTERRUPTED BY DOORWAYS AND NEWELS AT CHANGES IN DIRECTION

LOCATION:
HANDRAILS REQUIRED ON ONE SIDE OF STAIRS LESS THAN 3'-7" WIDE

TWO SIDES OF STAIRS 3'-7" WIDE OR GREATER

ATTACHMENT:
DESIGN AND ATTACHMENT OF HANDRAILS MUST CONFORM TO ARTICLE 9.8.7.7.

LOCATION:
HANDRAILS REQUIRED ON ONE SIDE OF STAIRS LESS THAN 3'-7" WIDE

TWO SIDES OF STAIRS 3'-7" WIDE OR GREATER

ATTACHMENT:
DESIGN AND ATTACHMENT OF HANDRAILS MUST CONFORM TO ARTICLE 9.8.7.7.

LOCATION:
HANDRAILS REQUIRED ON ONE SIDE OF STAIRS LESS THAN 3'-7" WIDE

TWO SIDES OF STAIRS 3'-7" WIDE OR GREATER

ATTACHMENT:
DESIGN AND ATTACHMENT OF HANDRAILS MUST CONFORM TO ARTICLE 9.8.7.7.

LOCATION:
HANDRAILS REQUIRED ON ONE SIDE OF STAIRS LESS THAN 3'-7" WIDE

TWO SIDES OF STAIRS 3'-7" WIDE OR GREATER

ATTACHMENT:
DESIGN AND ATTACHMENT OF HANDRAILS MUST CONFORM TO ARTICLE 9.8.7.7.

LOCATION:
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TWO SIDES OF STAIRS 3'-7" WIDE OR GREATER

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DESIGN AND ATTACHMENT OF HANDRAILS MUST CONFORM TO ARTICLE 9.8.7.7.

LOCATION:
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TWO SIDES OF STAIRS 3'-7" WIDE OR GREATER

ATTACHMENT:
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LOCATION:
HANDRAILS REQUIRED ON ONE SIDE OF STAIRS LESS THAN 3'-7" WIDE

TWO SIDES OF STAIRS 3'-7" WIDE OR GREATER

ATTACHMENT:
DESIGN AND ATTACHMENT OF HANDRAILS MUST CONFORM TO ARTICLE 9.8.7.7.

LOCATION:
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TWO SIDES OF STAIRS 3'-7" WIDE OR GREATER

ATTACHMENT:
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LOCATION:
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TWO SIDES OF STAIRS 3'-7" WIDE OR GREATER

ATTACHMENT:
DESIGN AND ATTACHMENT OF HANDRAILS MUST CONFORM TO ARTICLE 9.8.7.7.

LOCATION:
HANDRAILS REQUIRED ON ONE SIDE OF STAIRS LESS THAN 3'-7" WIDE

TWO SIDES OF STAIRS 3'-7" WIDE OR GREATER

ATTACHMENT:
DESIGN AND ATTACHMENT OF HANDRAILS MUST CONFORM TO ARTICLE 9.8.7.7.

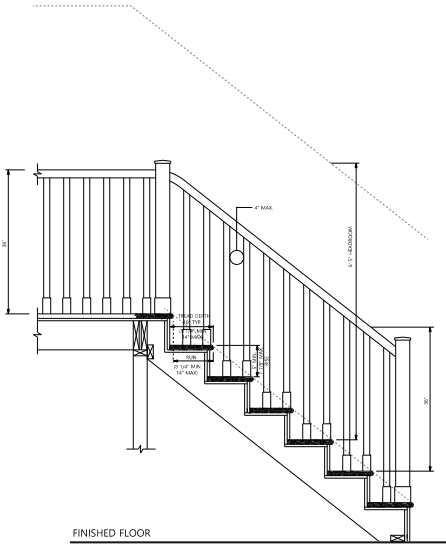
LOCATION:
HANDRAILS REQUIRED ON ONE SIDE OF STAIRS LESS THAN 3'-7" WIDE

TWO SIDES OF STAIRS 3'-7" WIDE OR GREATER

ATTACHMENT:
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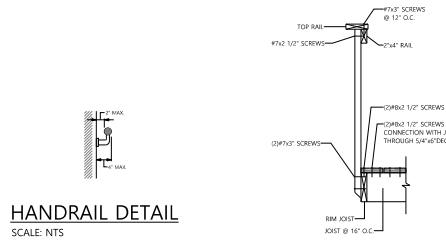
LOCATION:
HANDRAILS REQUIRED ON ONE SIDE OF STAIRS LESS THAN 3'-7" WIDE

TWO SIDES OF STAIRS 3'-7" WIDE OR GREATER



STAIR DETAIL

SCALE: NTS

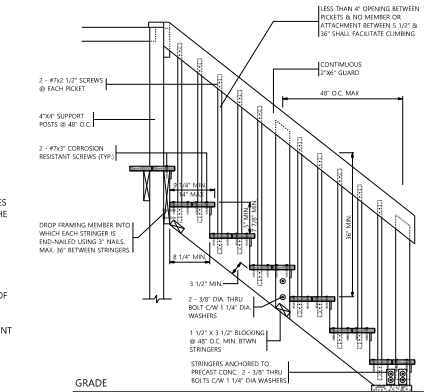


HANDRAIL DETAIL

SCALE: NTS

TYP. GUARD CONNECTION

SCALE: NTS



EXTERIOR STAIR DETAIL

SCALE: NTS

WOOD FRAME CONSTRUCTION:

ALL WOOD USED TO BE SPRUCE-PINE-FIR NO. 1&2 GRADE UNLESS OTHERWISE NOTED

ALL CALCULATIONS FOR WOOD MEMBERS ARE BASED ON TABLES FROM THE CANADIAN WOOD COUNCIL SPAN BOOK

NOTCHING AND DRILLING:
TO CONFORM TO ARTICLE 9.23.5. OF THE O.B.C.

ROOF, FLOOR, OR CEILING MEMBERS
DRILLING SIZE: (9.23.5.1)

HOLES DRILLED IN FRAMING MEMBERS: MUST NOT BE LARGER THAN 1/4 THE DEPTH OF THE MEMBER

MUST NOT BE LOCATED CLOSER THAN 2" FROM THE EDGES

NOTCHING SIZE: (9.23.5.2)
NOTCHES IN FRAMING MEMBERS:

MUST BE LOCATED ON THE TOP OF THE MEMBER MUST BE WITHIN HALF THE JOIST DEPTH FROM THE EDGE OF BEARING

MUST NOT BE DEEPER THAN 1/3 THE JOIST DEPTH

NOTCHING & DRILLING SIZE: (9.23.5.3)
UNDAMAGED PORTION OF THE STUD IS NOT LESS THAN: LOAD BEARING: 2/3 THE DEPTH OF THE STUD

NON-LOAD BEARING: 1 1/2" DEEP

BEAMS TO SUPPORT FLOORS:
TO CONFORM TO ARTICLE 9.23.8. OF THE O.B.C.

BEARING: (9.23.8.1)
BEAMS ARE TO HAVE EVEN AND LEVEL BEARING AND ARE TO BE PROVIDED WITH AT LEAST 3 1/2" LENGTH OF BEARING AT END SUPPORTS

BASEMENT CONSTRUCTION:

EXCAVATION:
TO CONFORM TO ARTICLE 9.12.1 OF THE O.B.C.

EXCAVATIONS (9.12.1.2) (9.12.1.3):
EXCAVATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL, KEPT FREE OF STANDING WATER AND SHALL BE KEPT FROM FREEZING DURING CONSTRUCTION

UNEXCAVATED (9.12.1.1.1):
REMOVE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER BUILDING

TERMITES (9.12.1.1.2):
IN LOCALITIES WHERE TERMITE INFESTATION IS KNOWN TO BE A PROBLEM, ALL STUMPS, ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MIN. OF 11 3/4" IN UNEXCAVATED AREAS UNDER BUILDING

UNDISTURBED SOIL (9.12.2.1):
EXCAVATIONS FOR FOUNDATIONS MUST EXTEND TO UNDISTURBED SOIL

DEPTH (TABLE 9.12.2.2):
FOUNDATION TO EXTEND MIN. 4'-0" BUT NOT LESS THAN DEPTH OF FROST PENETRATION

BACKFILL (9.12.3.1):
TO BE GRADED TO PREVENT DRAINAGE TOWARDS THE FOUNDATION AFTER SETTLING

TO BE FREE OF PYRITIC MATERIALS, DELETERIOUS DEBRIS AND BOULDERS LARGER THAN 9 7/8" IN DIAMETER

FOOTINGS:
TO CONFORM TO ARTICLE 9.15.3. OF THE O.B.C.

SUPPORT: (9.15.3.2)
FOOTINGS TO REST ON UNDISTURBED SOIL, ROCK, OR COMPACTED GRANULAR FILL

TO BE BUILT ON STABLE SOILS WITH AN ALLOWABLE BEARING PRESSURE OF 75 kPa OR GREATER

TERMITES (9.15.1.1.2):
MAXIMUM SOIL BEARING PRESSURES:

DENSE SAND OR GRAVEL: 150 kPa

DENSE SILT: 100 kPa

STIFF CLAY: 150 kPa

FIRM CLAY: 100 kPa

TILL: 200 kPa

CLAY SHALE: 300 kPa

SOUND ROCK: 500 kPa

(9.4.4.1)

CONCRETE:

TO CONFORM TO ARTICLE 9.3.1.6 OF THE O.B.C.

STRENGTH:
COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE AFTER 28 DAYS SHALL BE NOT LESS THAN:

32 MPa FOR GARAGE FLOORS

20 MPa FOR FOUNDATION WALLS & FOOTINGS

15 MPa FOR ALL OTHER APPLICATIONS

(9.3.1.6.1a)

AIR ENTRAINMENT:
CONCRETE USED FOR GARAGE FLOORS SHALL HAVE AIR ENTRAINMENT OF 5 TO 8% (9.3.1.6.1b)

WATER:
MAXIMUM WATER TO CEMENT RATIO: 0.45 (9.3.1.7.1a)

SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"

AREA: 507 SQFT